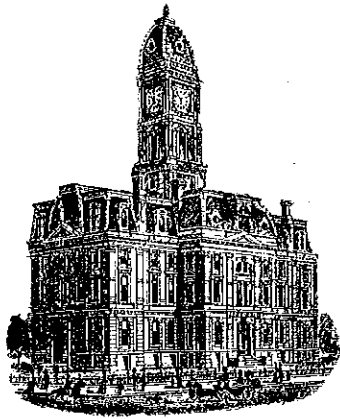


KCA



SURVEYOR'S OFFICE
Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

October 6, 2014

To: Hamilton County Drainage Board

Re: Vermillion Drain, The Heritage at Vermillion, Sec. 1 Arm

Attached is a petition filed by Beazer Homes Indiana LLP, along with a non-enforcement request, plans, calculations, quantity summary and assessment roll for the Vermillion Drain, The Heritage at Vermillion, Sec. 1 Arm to be located in Fall Creek Township. I have reviewed the submittals and petition and have found each to be in proper form.

I have made a personal inspection of the land described in the petition. Upon doing so, I believe that the drain is practicable, will improve the public health, benefit a public highway, and be of public utility and that the costs, damages and expenses of the proposed drain will probably be less than the benefits accruing to the owners of land likely to be benefited. The drain will consist of the following:

| | | | |
|---------|-----------|--------------|-----------|
| 12" RCP | 1,310 ft. | 27" RCP | 360 ft. |
| 15" RCP | 464 ft. | 30" RCP | 505 ft. |
| 18" RCP | 1,576 ft. | 36" RCP | 365 ft. |
| 21" RCP | 173 ft. | 6" SSD | 4,216 ft. |
| 24" RCP | 470 ft. | Open (ponds) | 787 ft. |

The total length of the drain will be 10,226 feet.

The subsurface drains (SSD) to be part of the regulated drain are those located under the curbs and those main lines in rear yards. Only the main SSD lines which are located within the easement or right of way are to be maintained as regulated drain. Laterals for individual lots will not be considered part of the regulated drain.

The detention ponds (Wet Pond #9 located in Common Area A and wet pond #12 located in Common Area B) are to be considered part of the regulated drain. This is consistent with the ponds in other Vermillion sections. The maintenance of the ponds shall include the inlet and outlet as part of the regulated drain. The maintenance of the ponds such as sediment removal, and erosion control along the banks, mowing and aquatic vegetation control will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

I have reviewed the plans and believe the drain will benefit each lot equally. Therefore, I recommend each lot be assessed equally. I also believe that no damages will result to landowners by the construction of this drain. I recommend a maintenance assessment of \$65.00 per platted lot, \$10.00 per acre for common areas, with a \$65.00 minimum, and \$10.00 per acre for roadways. With this assessment the total annual assessment for this drain for Section 1 will be \$2,754.40.

The petitioner has submitted surety for the proposed drain at this time. The sureties which are in the form of Letters of Credit from the developer are as follows:

Agent: Bond Safeguard Insurance Company
Date: September 4, 2014
Number: 5040641
For: Storm Sewers
Amount: \$401,875.54

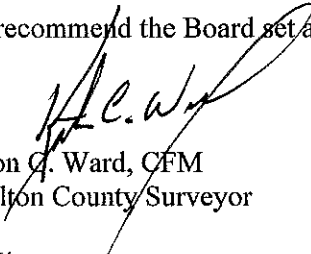
Agent: Bond Safeguard Insurance Company
Date: September 4, 2014
Number: 5040642
For: Erosion Control
Amount: \$60,270.00

Agent: Bond Safeguard Insurance Company
Date: September 4, 2014
Number: 5040643
For: Monumentation
Amount: \$5,430.00

I believe this proposed drain meets the requirements for Urban Drain Classification as set out in IC 36-9-27-67 to 69. Therefore, this drain shall be designated as an Urban Drain.

I recommend that upon approval of the above proposed drain that the Board also approve the attached non-enforcement request. The request will be for the reduction of the regulated drain easement to those easement widths as shown on the secondary plats for The Heritage at Vermillion, Sec. 1 as recorded in the office of the Hamilton County Recorder.

I recommend the Board set a hearing for this proposed drain for November 23, 2015.



Kenton G. Ward, CFM
Hamilton County Surveyor

KCW/stc

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

FILED

AUG 20 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

TO: HAMILTON COUNTY DRAINAGE BOARD
% Hamilton County Surveyor
One Hamilton County Square, Suite 188
Noblesville, IN. 46060-2230

In the matter of The Heritage At Vermillion Subdivision, Section
The Heritage At Vermillion Drain Petition.

Petitioner is the owner of all lots in the land affected by the proposed new regulated drain. The drainage will affect various lots in The Heritage At Vermillion - Section 1, a subdivision in Hamilton County, Indiana. The general route of such drainage shall be in existing easements and along public roads as shown in the plans on file in the Surveyor's Office.

Petitioner believes that the cost, damages and expenses of the proposed improvement will be less than the benefits which will result to the owners of the land likely to be benefited thereby. Petitioner believes the proposed improvements will:

- (a) improve public health
- (b) benefit a public street
- (c) be of public utility

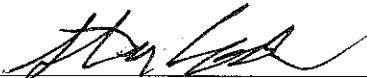
Petitioner agrees to pay the cost of construction of the drainage system and requests periodic maintenance assessments by the Board thereafter.

The Petitioner also agrees to the following:

1. To provide the Drainage Board a Performance Bond or Non-Revocable Letter of Credit for the portion of the drainage system which will be made a regulated drain. The bond will be in the amount of 120% of the Engineer's estimate. The bond will be in effect until construction of 100% of the system is completed and so certified by the Engineer.
2. The Petitioner shall retain an Engineer throughout the construction phase. At completion of the project the Petitioner's Engineer shall certify that the drainage system which is to be maintained as a regulated drain has been constructed as per construction plans.
3. The Petitioner agrees to request in writing to the County Surveyor any changes from the approved plan and must receive written authorization from the County Surveyor prior to implementation of the change. All changes shall be documented and given to the Surveyor to be placed in the Drain file.
4. The Petitioner shall instruct his Engineer to provide a reproducible print on a 24" x 36" Mylar of the final design of the Drainage System. This shall be submitted to the County Surveyor prior to the release of the Performance Bond.
5. The Petitioner shall comply with the Erosion Control Plan as specified on the construction plans. Failure to comply with the Erosion Control Plan shall be determined by the Board as being an obstruction to the drainage system. The County Surveyor shall immediately install or repair the needed measures at Petitioners cost as per IC 36-9-27-46.

The Petitioner further requests that the Drain be classified as an Urban Drain as per IC 36-9-27-69(d).

RECORDED OWNER(S) OF LAND INVOLVED


Signed

STEVE COOK
Printed Name

8/8/14
Date

Signed

Printed Name

Date

Signed

Printed Name

Date

Signed

Printed Name

Date

FINDINGS AND ORDER

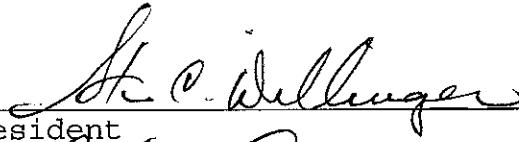
CONCERNING THE MAINTENANCE OF THE

Vermillion Drain, The Heritage at Vermillion Section 1 Arm

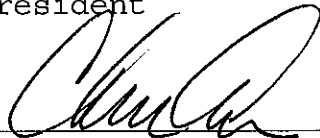
On this 23rd day of November, 2015, the Hamilton County Drainage Board has held a hearing on the Maintenance Report and Schedule of Assessments of the *Vermillion Drain, The Heritage at Vermillion Section 1 Arm*.

Evidence has been heard. Objections were presented and considered. The Board then adopted the original/amended Schedule of Assessments. The Board now finds that the annual maintenance assessment will be less than the benefits to the landowners and issues this order declaring that this Maintenance Fund be established.

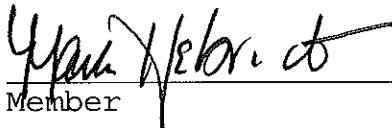
HAMILTON COUNTY DRAINAGE BOARD



President




Member



Member

Attest:



Executive Secretary



August 27, 2014

Hamilton County Surveyor's Office
1 N 8th Street
Noblesville, IN 46060
Phone: (317) 776-8495

FILED

AUG 28 2014

Attention: Steve Cash

RE: The Heritage At Vermillion –Section 1

OFFICE OF HAMILTON COUNTY SURVEYOR

Dear Mr. Cash:

On behalf of the developer, Beazer Homes, I wish to submit the following Engineer's Estimate for The Heritage at Vermillion Section One. The estimate is as follows:

| <u>Description</u> | <u>Quantity</u> | | <u>Unit Price</u> | <u>Contract Amount</u> | <u>Performance Bond 120%</u> |
|---|-----------------|------|-------------------|------------------------|------------------------------|
| Storm Sewer | | | | \$ 334,895.45 | \$401,874.54 |
| 6" SSD Curbs | 4,695.00 | LF | \$ 7.60 | \$ 35,682.00 | |
| 12" RCP | 1,310.00 | LF | \$ 27.55 | \$ 36,090.50 | |
| 15" RCP | 465.00 | LF | \$ 27.20 | \$ 12,648.00 | |
| 18" RCP | 1,227.00 | LF | \$ 31.90 | \$ 39,141.30 | |
| 21" RCP | 492.00 | LF | \$ 34.09 | \$ 16,772.28 | |
| 24" RCP | 150.00 | LF | \$ 45.70 | \$ 6,855.00 | |
| 27" RCP | 229.00 | LF | \$ 52.50 | \$ 12,022.50 | |
| 30" RCP | 505.00 | LF | \$ 65.00 | \$ 32,825.00 | |
| 36" RCP | 365.00 | LF | \$ 80.00 | \$ 29,200.00 | |
| Inlet Type A Neenah R3501-TR/TL | 6.00 | Each | \$ 1,235.00 | \$ 7,410.00 | |
| Curb Inlet Double Castings | 8.00 | Each | \$ 2,190.00 | \$ 17,520.00 | |
| MH w/Solid Lid (12" to 24" Pipe) 48"d | 2.00 | Each | \$ 2,090.00 | \$ 4,180.00 | |
| MH w/Solid Lid (27" to 36" Pipe) 60"d | 2.00 | Each | \$ 3,000.00 | \$ 6,000.00 | |
| Inlet Type A w/ Beehive Inlet | 4.00 | Each | \$ 1,010.00 | \$ 4,040.00 | |
| MH w/Beehive Inlet (12" to 24" Pipe) 48"d | 10.00 | Each | \$ 1,710.00 | \$ 17,100.00 | |
| MH w/Beehive Inlet (27" to 36" Pipe) 60"d | 2.00 | Each | \$ 3,000.00 | \$ 6,000.00 | |
| Curb Inlet, 48"d | 2.00 | Each | \$ 1,890.00 | \$ 3,780.00 | |
| Curb Inlet, 60"d | 2.00 | Each | \$ 3,000.00 | \$ 6,000.00 | |
| MH w/Beehive Inlet SS Wier, 48"d | 1.00 | Each | \$ 2,810.00 | \$ 2,810.00 | |
| Rip Rap Outlet Protection | 8.00 | Each | \$ 433.00 | \$ 3,464.00 | |
| 12" Flared End Section w/ Debris Guard | 4.00 | Each | \$ 1,595.00 | \$ 6,380.00 | |
| 15" Flared End Section w/ Debris Guard | 1.00 | Each | \$ 1,650.00 | \$ 1,650.00 | |

The Heritage At Vermillion Section One

W130129

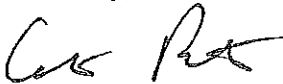
August 27, 2014

Page 2 of 2

| | | | | | |
|--|-----------|------|-------------|---------------------|---------------------|
| 18" Flared End Section w/ Debris Guard | 2.00 | Each | \$ 1,749.70 | \$ 3,499.40 | |
| 21" Flared End Section w/ Debris Guard | 1.00 | Each | \$ 1,845.47 | \$ 1,845.47 | |
| 30" Flared End Section w/ Debris Guard | 1.00 | Each | \$ 3,000.00 | \$ 3,000.00 | |
| 36" Flared End Section w/ Debris Guard | 1.00 | Each | \$ 3,500.00 | \$ 3,500.00 | |
| No. 8 Stone Backfill | 800.00 | Ton | \$ 19.35 | \$ 15,480.00 | |
| Erosion Control | | | | \$ 50,225.00 | \$ 60,270.00 |
| Silt Fence – Perimeter | 9,640.00 | LF | \$ 1.10 | \$ 5,795.00 | |
| Beehive Protection | 18.00 | Each | \$ 65.00 | \$ 7,990.00 | |
| Curb Inlet Mats | 27.00 | Each | \$ 35.00 | \$ 2,000.00 | |
| EC Blanket – Lake | 7,538.00 | SY | \$ 1.25 | \$ 320.00 | |
| EC Blanket – Swales | 13,277.00 | SY | \$ 1.15 | \$ 270.00 | |
| Permanent Seeding | 22,595.00 | SY | \$ 0.36 | \$ 7,200.00 | |
| Temporary Seeding | 42,972.00 | SY | \$ 0.25 | \$ 10,400.00 | |
| Seed & Straw behind curb | 17,264.00 | SY | \$ 0.36 | \$ 16,250.00 | |
| Monumentation | | | | \$ 4,525.00 | \$ 5,430.00 |
| 5/8" rebar w/ aluminum caps, street control | 11.00 | Each | \$ 35.00 | \$ 385.00 | |
| 5/8" rebar w/ caps, lot property corners | 114.00 | Each | \$ 35.00 | \$ 3,990.00 | |
| 4x4 concrete monuments, subdivision property corners | 3.00 | Each | \$ 150.00 | \$ 150.00 | |

Should you have any questions or comments, please feel free to contact me at 317-846-6611.

Sincerely,



Colin Patterson
Professional Engineer

FILED

SEP 05 2014



OFFICE OF HAMILTON COUNTY SURVEYOR

SUBDIVISION BOND

Bond No.: 5040641

Principal Amount: \$401,874.54

HCD3-2014-00049

KNOW ALL MEN BY THESE PRESENTS, that we Beazer Homes Indiana, LLP, 9202 N. Meridian Street, Suite 300, Indianapolis, IN 46260 as Principal, and Bond Safeguard Insurance Company, 12890 Lebanon Road, Mt. Juliet, TN 37122 a South Dakota Corporation, as Surety, are held and firmly bound unto Hamilton County Commissioners, 1 Hamilton County Square, Suite 157, Noblesville, IN 46060, as Obligee, in the penal sum of Four Hundred One Thousand Eight Hundred Seventy Four and 54/100 Dollars (\$401,875.54), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Beazer Homes Indiana, LLP has agreed to construct in The Heritage at Vermillion, Sec 1 Subdivision, in Hamilton County, IN the following improvements: Storm Sewer.


NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect until released by the Obligee, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed per the requirement of the Obligee, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed, but only by doing a rider to this original bond..

Signed, sealed and dated, this 4th day of September, 2014.

Beazer Homes Indiana, LLP
Principal

Bond Safeguard Insurance Company
Surety

By: 

By: Dawn L. Morgan
Dawn L. Morgan, Attorney-in-Fact

Bond Safeguard INSURANCE COMPANY

KNOW ALL MEN BY THESE PRESENTS, that **BOND SAFEGUARD INSURANCE COMPANY**, a South Dakota Corporation with its principal office in Sioux Falls, South Dakota, does hereby constitute and appoint: James I. Moore, Bonnie Kruse, Stephen T. Kazmer, Dawn L. Morgan, Peggy Faust, Kelly A. Gardner, Elaine Marcus, Jennifer J. McComb, Melissa Schmidt, Tariese M. Pisciotto its true and lawful Attorney(s)-In-Fact to make, execute, seal and deliver for, and on its behalf as surety, any and all bonds, undertakings or other writings obligatory in nature.

This authority is made under and by the authority of a resolution which was passed by the Board of Directors of **BOND SAFEGUARD INSURANCE COMPANY** on the 7th day of November, 2001 as follows:

Resolved, that the President of the Company is hereby authorized to appoint and empower any representative of the Company or other person or persons as Attorney-In-Fact to execute on behalf of the Company any bonds, undertakings, policies, contracts of indemnity or other writings obligatory in nature of a bond, \$ 8,000,000.00, Eight Million dollars, which the Company might execute through its duly elected officers, and affix the seal of the Company thereto. Any said execution of such documents by an Attorney-In-Fact shall be as binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company. Any Attorney-In-Fact, so appointed, may be removed for good cause and the authority so granted may be revoked as specified in the Power of Attorney.

Resolved, that the signature of the President and the seal of the Company may be affixed to by facsimile on any power of attorney granted, and the signature of the Assistant Secretary, and the seal of the Company may be affixed by facsimile to any certificate of any such power and any such power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certificate so executed and sealed shall, with respect to any bond or undertaking to which it as attached, continue to be valid and binding on the Company.

IN WITNESS THEREOF, **BOND SAFEGUARD INSURANCE COMPANY** has caused this instrument to be signed by its President, and its Corporate seal to be affixed this 7th day of November, 2001.

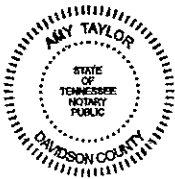


BOND SAFEGUARD INSURANCE COMPANY

BY
David E. Campbell
President

ACKNOWLEDGEMENT

On this 7th day of November, 2001, before me, personally came David E. Campbell to me known, who being duly sworn, did depose and say that he is the President of **BOND SAFEGUARD INSURANCE COMPANY**, the corporation described in and which executed the above instrument; that he executed said instrument on behalf of the corporation by authority of his office under the By-laws of said corporation.



AMY L. TAYLOR
Notary Public- State of Tennessee
Davidson County
My Commission Expires 01-09-16

BY
Amy L. Taylor
Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of **BOND SAFEGUARD INSURANCE COMPANY**, A South Dakota Insurance Company, DO HEREBY CERTIFY that the original Power of Attorney of which the foregoing is a true and correct copy, is in full force and effect and has not be revoked and the resolutions as set forth are now in force.

Signed and Sealed at Mount Juliet, Tennessee this 4th Day of September, 20 14



BY
Andrew Smith
Assistant Secretary

"WARNING: Any person who knowingly and with intent to defraud any insurance company or other person, files an application for insurance or statement of claim containing any materially false information, or conceals for the purpose of misleading, information concerning any fact material thereto, commits a fraudulent insurance act, which is a crime and subjects such person to criminal and civil penalties."


ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS }
 } S.S.
COUNTY OF DUPAGE }

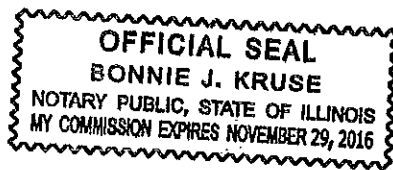
On September 4, 2014, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Dawn L. Morgan, known to me to be Attorney-in-Fact of Bond Safeguard Insurance Company, the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument on behalf of the said corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires on November 29, 2016



Notary Public - Bonnie J. Kruse



Notary Commission No.: 615386

FILED

SEP 05 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

SUBDIVISION BOND

Bond No.: 5040642

Principal Amount: \$60,270.00

HEDB-2014-0050

KNOW ALL MEN BY THESE PRESENTS, that we Beazer Homes Indiana, LLP, 9202 N. Meridian Street, Suite 300, Indianapolis, IN 46260 as Principal, and Bond Safeguard Insurance Company, 12890 Lebanon Road, Mt. Juliet, TN 37122 a South Dakota Corporation, as Surety, are held and firmly bound unto Hamilton County Commissioners, 1 Hamilton County Square, Suite 157, Noblesville, IN 46060, as Obligee, in the penal sum of Sixty Thousand Two Hundred Seventy and 00/100 Dollars (\$60,270.00), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Beazer Homes Indiana, LLP has agreed to construct in The Heritage at Vermillion, Sec 1 Subdivision, in Hamilton County, IN the following improvements: Erosion Control

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect until released by the Obligee, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed per the requirement of the Obligee, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed, but only by doing a rider to this original bond..

Signed, sealed and dated, this 4th day of September, 2014.

Beazer Homes Indiana, LLP
Principal

Bond Safeguard Insurance Company
Surety

By: [Signature]

By: Dawn L. Morgan
Dawn L. Morgan, Attorney-in-Fact

Bond Safeguard INSURANCE COMPANY

KNOW ALL MEN BY THESE PRESENTS, that **BOND SAFEGUARD INSURANCE COMPANY**, a South Dakota Corporation with its principal office in Sioux Falls, South Dakota, does hereby constitute and appoint: James I. Moore, Bonnie Kruse, Stephen T. Kazmer, Dawn L. Morgan, Peggy Faust, Kelly A. Gardner, Elaine Marcus, Jennifer J. McComb, Melissa Schmidt, Tariese M. Pisciotto its true and lawful Attorney(s)-In-Fact to make, execute, seal and deliver for, and on its behalf as surety, any and all bonds, undertakings or other writings obligatory in nature.

This authority is made under and by the authority of a resolution which was passed by the Board of Directors of **BOND SAFEGUARD INSURANCE COMPANY** on the 7th day of November, 2001 as follows:

Resolved, that the President of the Company is hereby authorized to appoint and empower any representative of the Company or other person or persons as Attorney-In-Fact to execute on behalf of the Company any bonds, undertakings, policies, contracts of indemnity or other writings obligatory in nature of a bond, \$ 8,000,000.00, Eight Million dollars, which the Company might execute through its duly elected officers, and affix the seal of the Company thereto. Any said execution of such documents by an Attorney-In-Fact shall be as binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company. Any Attorney-In-Fact, so appointed, may be removed for good cause and the authority so granted may be revoked as specified in the Power of Attorney.

Resolved, that the signature of the President and the seal of the Company may be affixed to by facsimile on any power of attorney granted, and the signature of the Assistant Secretary, and the seal of the Company may be affixed by facsimile to any certificate of any such power and any such power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certificate so executed and sealed shall, with respect to any bond or undertaking to which it as attached, continue to be valid and binding on the Company.

IN WITNESS THEREOF, **BOND SAFEGUARD INSURANCE COMPANY** has caused this instrument to be signed by its President, and its Corporate seal to be affixed this 7th day of November, 2001.

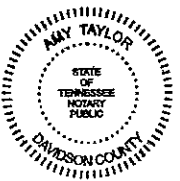
BOND SAFEGUARD INSURANCE COMPANY



BY
David E. Campbell
President

ACKNOWLEDGEMENT

On this 7th day of November, 2001, before me, personally came David E. Campbell to me known, who being duly sworn, did depose and say that he is the President of **BOND SAFEGUARD INSURANCE COMPANY**, the corporation described in and which executed the above instrument; that he executed said instrument on behalf of the corporation by authority of his office under the By-laws of said corporation.



AMY L. TAYLOR
Notary Public- State of Tennessee
Davidson County
My Commission Expires 01-09-16

BY
Amy J. Taylor
Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of **BOND SAFEGUARD INSURANCE COMPANY**, A South Dakota Insurance Company, DO HEREBY CERTIFY that the original Power of Attorney of which the foregoing is a true and correct copy, is in full force and effect and has not been revoked and the resolutions as set forth are now in force.

Signed and Sealed at Mount Juliet, Tennessee this 4th Day of September, 20 14



BY
Andrew Smith
Assistant Secretary

"WARNING: Any person who knowingly and with intent to defraud any insurance company or other person, files an application for insurance or statement of claim containing any materially false information, or conceals for the purpose of misleading, information concerning any fact material thereto, commits a fraudulent insurance act, which is a crime and subjects such person to criminal and civil penalties."

ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS }
 } S.S.
COUNTY OF DUPAGE }

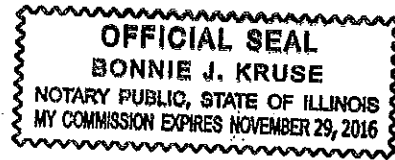
On September 4, 2014, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Dawn L. Morgan, known to me to be Attorney-in-Fact of Bond Safeguard Insurance Company, the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument on behalf of the said corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires on November 29, 2016



Notary Public - Bonnie J. Kruse



Notary Commission No.: 615386

FILED

SEP 05 2014

OFFICE OF HAMILTON COUNTY SURVEYOR

SUBDIVISION BOND

Bond No.: 5040643

Principal Amount: \$5430.00

HCDB-2014-00051

KNOW ALL MEN BY THESE PRESENTS, that we Beazer Homes Indiana, LLP, 9202 N. Meridian Street, Suite 300, Indianapolis, IN 46260 as Principal, and Bond Safeguard Insurance Company, 12890 Lebanon Road, Mt. Juliet, TN 37122 a South Dakota Corporation, as Surety, are held and firmly bound unto Hamilton County Commissioners, 1 Hamilton County Square, Suite 157, Noblesville, IN 46060, as Obligee, in the penal sum of Five Thousand Four Hundred Thirty and 00/100 Dollars (\$5430.00), lawful money of the United States of America, for the payment of which well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, Beazer Homes Indiana, LLP has agreed to construct in The Heritage at Vermillion, Sec 1 Subdivision, in Hamilton County, IN the following improvements: Monumentation.


NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION IS SUCH, that if the said Principal shall construct, or have constructed, the improvements herein described, and shall save the Obligee harmless from any loss, cost or damage by reason of its failure to complete said work, then this obligation shall be null and void, otherwise to remain in full force and effect until released by the Obligee, and the Surety, upon receipt of a resolution of the Obligee indicating that the improvements have not been installed or completed per the requirement of the Obligee, will complete the improvements or pay to the Obligee such amount up to the Principal amount of this bond which will allow the Obligee to complete the improvements.

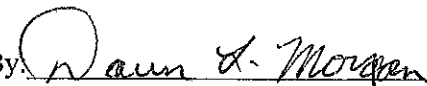
Upon approval by the Obligee, this instrument may be proportionately reduced as the public improvements are completed, but only by doing a rider to this original bond..

Signed, sealed and dated, this 4th day of September, 2014.

Beazer Homes Indiana, LLP
Principal

Bond Safeguard Insurance Company
Surety

By: 

By: 
Dawn L. Morgan, Attorney-in-Fact

Bond Safeguard INSURANCE COMPANY

KNOW ALL MEN BY THESE PRESENTS, that **BOND SAFEGUARD INSURANCE COMPANY**, a South Dakota Corporation with its principal office in Sioux Falls, South Dakota, does hereby constitute and appoint: James I. Moore, Bonnie Kruse, Stephen T. Kazmer, Dawn L. Morgan, Peggy Faust, Kelly A. Gardner, Elaine Marcus, Jennifer J. McComb, Melissa Schmidt, Tariese M. Pisciotto its true and lawful Attorney(s)-In-Fact to make, execute, seal and deliver for, and on its behalf as surety, any and all bonds, undertakings or other writings obligatory in nature.

This authority is made under and by the authority of a resolution which was passed by the Board of Directors of **BOND SAFEGUARD INSURANCE COMPANY** on the 7th day of November, 2001 as follows:

Resolved, that the President of the Company is hereby authorized to appoint and empower any representative of the Company or other person or persons as Attorney-In-Fact to execute on behalf of the Company any bonds, undertakings, policies, contracts of indemnity or other writings obligatory in nature of a bond, \$ 8,000,000.00, Eight Million dollars, which the Company might execute through its duly elected officers, and affix the seal of the Company thereto. Any said execution of such documents by an Attorney-In-Fact shall be as binding upon the Company as if they had been duly executed and acknowledged by the regularly elected officers of the Company. Any Attorney-In-Fact, so appointed, may be removed for good cause and the authority so granted may be revoked as specified in the Power of Attorney.

Resolved, that the signature of the President and the seal of the Company may be affixed to by facsimile on any power of attorney granted, and the signature of the Assistant Secretary, and the seal of the Company may be affixed by facsimile to any certificate of any such power and any such power or certificate bearing such facsimile signature and seal shall be valid and binding on the Company. Any such power so executed and sealed and certificate so executed and sealed shall, with respect to any bond or undertaking to which it as attached, continue to be valid and binding on the Company.

IN WITNESS THEREOF, **BOND SAFEGUARD INSURANCE COMPANY** has caused this instrument to be signed by its President, and its Corporate seal to be affixed this 7th day of November, 2001.



BOND SAFEGUARD INSURANCE COMPANY

BY
David E. Campbell
President

ACKNOWLEDGEMENT

On this 7th day of November, 2001, before me, personally came David E. Campbell to me known, who being duly sworn, did depose and say that he is the President of **BOND SAFEGUARD INSURANCE COMPANY**, the corporation described in and which executed the above instrument; that he executed said instrument on behalf of the corporation by authority of his office under the By-laws of said corporation.



AMY L. TAYLOR
Notary Public- State of Tennessee
Davidson County
My Commission Expires 01-09-16

BY
Amy L. Taylor
Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of **BOND SAFEGUARD INSURANCE COMPANY**, A South Dakota Insurance Company, DO HEREBY CERTIFY that the original Power of Attorney of which the foregoing is a true and correct copy, is in full force and effect and has not be revoked and the resolutions as set forth are now in force.

Signed and Sealed at Mount Juliet, Tennessee this 4th Day of September, 2014



BY
Andrew Smith
Assistant Secretary

WARNING: Any person who knowingly and with intent to defraud any insurance company or other person, files an application for insurance or statement of claim containing any materially false information, or conceals for the purpose of misleading, information concerning any fact material hereto, commits a fraudulent insurance act, which is a crime and subjects such person to criminal and civil penalties.

ACKNOWLEDGMENT OF SURETY

STATE OF ILLINOIS }
 } S.S.
COUNTY OF DUPAGE }

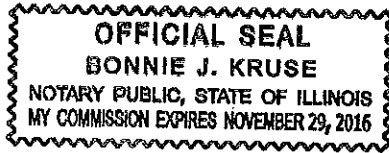
On September 4, 2014, before me, a Notary Public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared Dawn L. Morgan, known to me to be Attorney-in-Fact of Bond Safeguard Insurance Company, the corporation described in and that executed the within and foregoing instrument, and known to me to be the person who executed the said instrument on behalf of the said corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal, the day and year stated in this certificate above.

My Commission Expires on November 29, 2016

Bonnie J. Kruse

Notary Public - Bonnie J. Kruse



Notary Commission No.: 615386

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

Vermillion Drain, The Heritage at Vermillion Section 1 Arm

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board on the **Vermillion Drain, The Heritage at Vermillion Section 1 Arm** on **November 23, 2015** at **9:00 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana, and which construction and maintenance reports of the Surveyor and the Schedule of Assessments made by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF THE

**Vermillion Drain,
The Heritage at Vermillion Section 1 Arm**

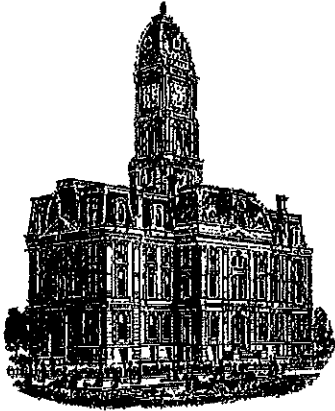
NOTICE

Notice is hereby given pursuant to Section 405 of the 1965 Indiana Drainage Code that this Board, prior to final adjournment on **November 23, 2015** has issued an order adopting the Schedule of Assessments, filed the same and made public announcement thereof at the hearing and ordered publication. If judicial review of the findings and order of the Board is not requested pursuant to Article Eight of this code within twenty (20) days from the date of this publication, the order shall be conclusive.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

October 24, 2016

Re: Vermillion Drain – The Heritage at Vermillion Section 1

Attached are as-built, certificate of completion & compliance, and other information for The Heritage at Vermillion Section 1. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated October 6, 2014. The report was approved by the Board at the hearing held November 23, 2015. (See Drainage Board Minutes Book 16, Pages 373-375) The changes are as follows: the 12" RCP was lengthened from 1,310 feet to 1,321 feet. The 15" RCP was lengthened from 464 feet to 470 feet. The 18" RCP was shortened from 1,576 feet to 1,226 feet. The 21" RCP was shortened from 173 feet to 145 feet. The 24" RCP was lengthened from 470 feet to 609 feet. The 27" RCP was shortened from 360 feet to 357 feet. The 30" RCP was lengthened from 505 feet to 511 feet. The 36" RCP was lengthened from 365 feet to 366 feet. The 6" SSD was lengthened from 4,216 feet to 4,659 feet. The open ditch through the ponds was lengthened from 787 feet to 814 feet. The length of the drain due to the changes described above is now **10,478 feet**. It should be noted that the 18" RCP was shorter in footage because 379 feet of it was previously reported with The Village at Flat Fork Section 1.

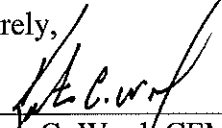
The non-enforcement was approved by the Board at its meeting on November 30, 2015 and recorded under instrument #2016013327. The following sureties were guaranteed by Bond Safeguard Insurance Company and released by the Board on its October 24, 2016 meeting.

Bond-LC No: 5040641
Amount: \$401,875.54
For: Storm Sewers
Issue Date: September 4, 2014

Bond-LC No: 5040642
Amount: \$60,270.00
For: Storm Sewers
Issue Date: September 4, 2014

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in black ink, appearing to read 'K.C. Ward', written over a horizontal line.

Kenton C. Ward, CFM
Hamilton County Surveyor

CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: The Heritage at Vermillion - Section One

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature: Alvin E. Skoog, Jr. Date: October 25, 2016

Type or Print Name: Alvin E. Skoog, Jr.

Business Address: Weihe Engineers

10505 N. College Ave., Indianapolis, IN 46028

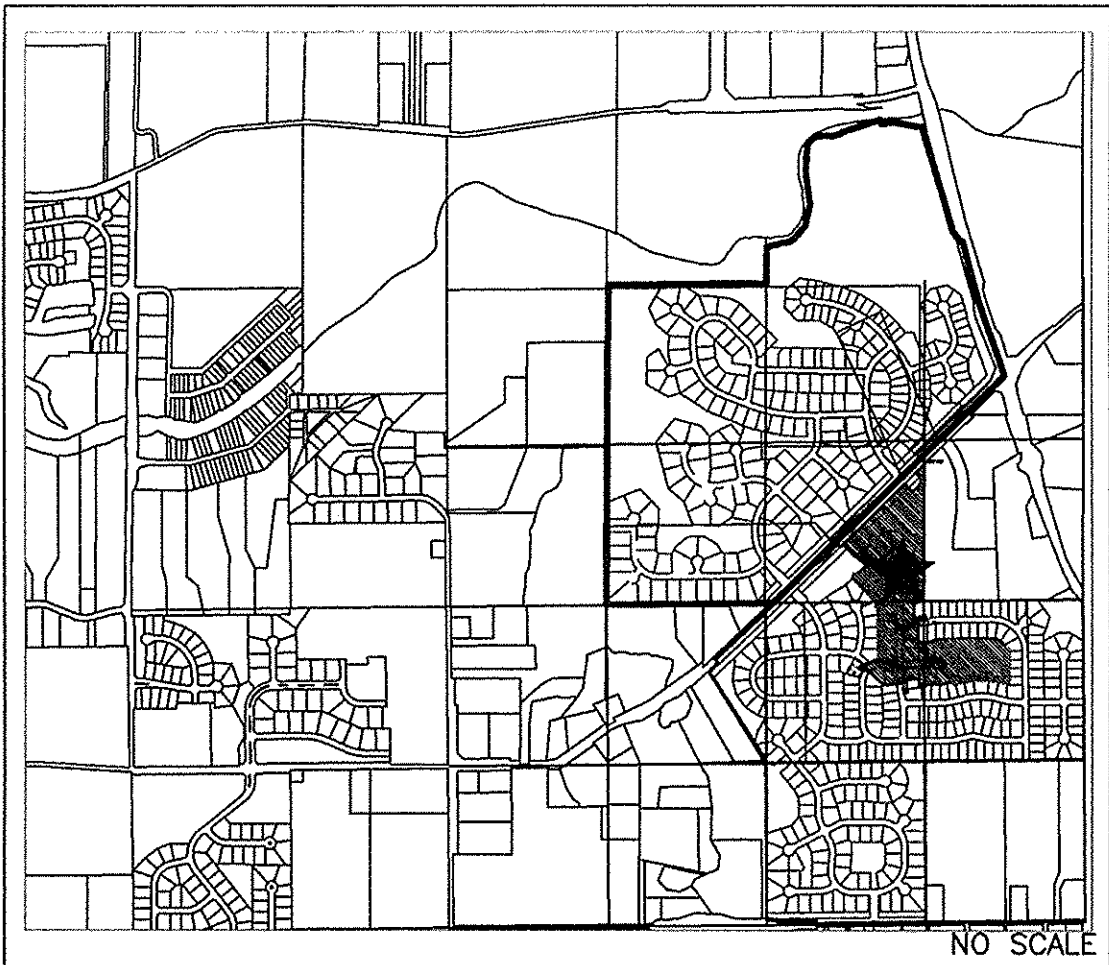
Telephone Number: 317-846-6611

SEAL

INDIANA REGISTRATION NUMBER

880573





AREA LOCATION MAP
GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
- IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER THAT ALL LANDSCAPE REQUIREMENTS ARE MET AND CONFORM TO APPLICABLE LOCAL STANDARDS.
- THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C0260F AND 18057C0280F, FEBRUARY 19, 2003.
- BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
- THIS SITE DOES NOT CONTAIN WETLANDS AS SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; FORTVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP.
- DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.
- ALL WATER MAIN, HYDRANTS, AND WATER VALVES SHALL BE INSPECTED AND SHALL COMPLY WITH BACKFILL, BEDDING, AND THRUST BLOCK REQUIREMENTS PER FORTVILLE WATER COMPANY DETAIL SHEETS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS. ADA RAMPS ARE TO BE P.R.O.W.A.G. COMPLIANT AND MEET CURRENT INDOT STANDARD SPECIFICATIONS.

OPERATING AUTHORITIES:

- | | | |
|---|--|--|
| Fishers Community Development Department One Municipal Drive Fishers, IN 46038 317-395-3120 Attn: Adam Zaklikowski | Ninestar Connect (Power) 2243 East Main Street Greenfield, IN 46140 317-323-2087 Attn: John Splatter | Comcast 5330 E. 65th Street Indianapolis, IN 46220 317-774-3384 Attn: Matt Stringer |
| A&F Engineering, INC. 8365 Keystone Crossing, Suite 201 Indianapolis, IN 46240 317-202-0864 Attn: Steve Fahrbach | Fortville Water 714 E. Broadway St. Fortville, IN 46040 317-405-4044 Attn: Joe Renner | AT&T 5858 N. College Avenue Indianapolis, IN 46220 317-252-4267 Attn: Brian Peters |
| SAMCO/HSE Utilities 11901 Lakeside Drive Fishers, IN 46038 317-577-1150 Attn: Thomas Kallio | Triad Associates 5835 Lawton Loop East Drive Indianapolis, IN 46216 317-773-5230 Attn: Dick Mosler | Hamilton County Highway Department 1700 S. 10th Street Noblesville, IN 46080 317-773-7770 Attn: David Lucas |
| Duke Energy 100 South Mill Creek Road Noblesville, IN 46060 317-776-5352 Attn: Tracy Grady | Hamilton County Surveyor One Hamilton County Square, Suite 188 Noblesville, Indiana 46060 317-776-8495 Attn: Steve Cash | Embargo/ Century Link 50 North Jackson Street Franklin, IN 46131 317-736-5807 Attn: Lory Donathen |
| Vectren 16000 Allisonville Road Noblesville, IN 46061 317-776-5532 Attn: Joanie Clark | Ninestar Connect P.O. Box 108 Maxwell, IN 46154 317-323-2078 Attn: George Plisinski | |

RECORD DRAWING-CONSTRUCTION DRAWINGS

THE HERITAGE

AT VERMILLION

SECTION ONE

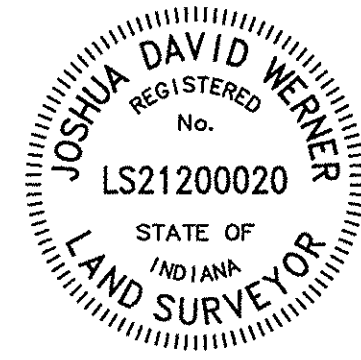
FORTVILLE, IN 46040

LATITUDE: 39°56'49" N, LONGITUDE: 85°52'07" W

RECORD DRAWING

09/18/2015

JOSHUA DAVID WERNER, LS21200020



PLANS PREPARED FOR

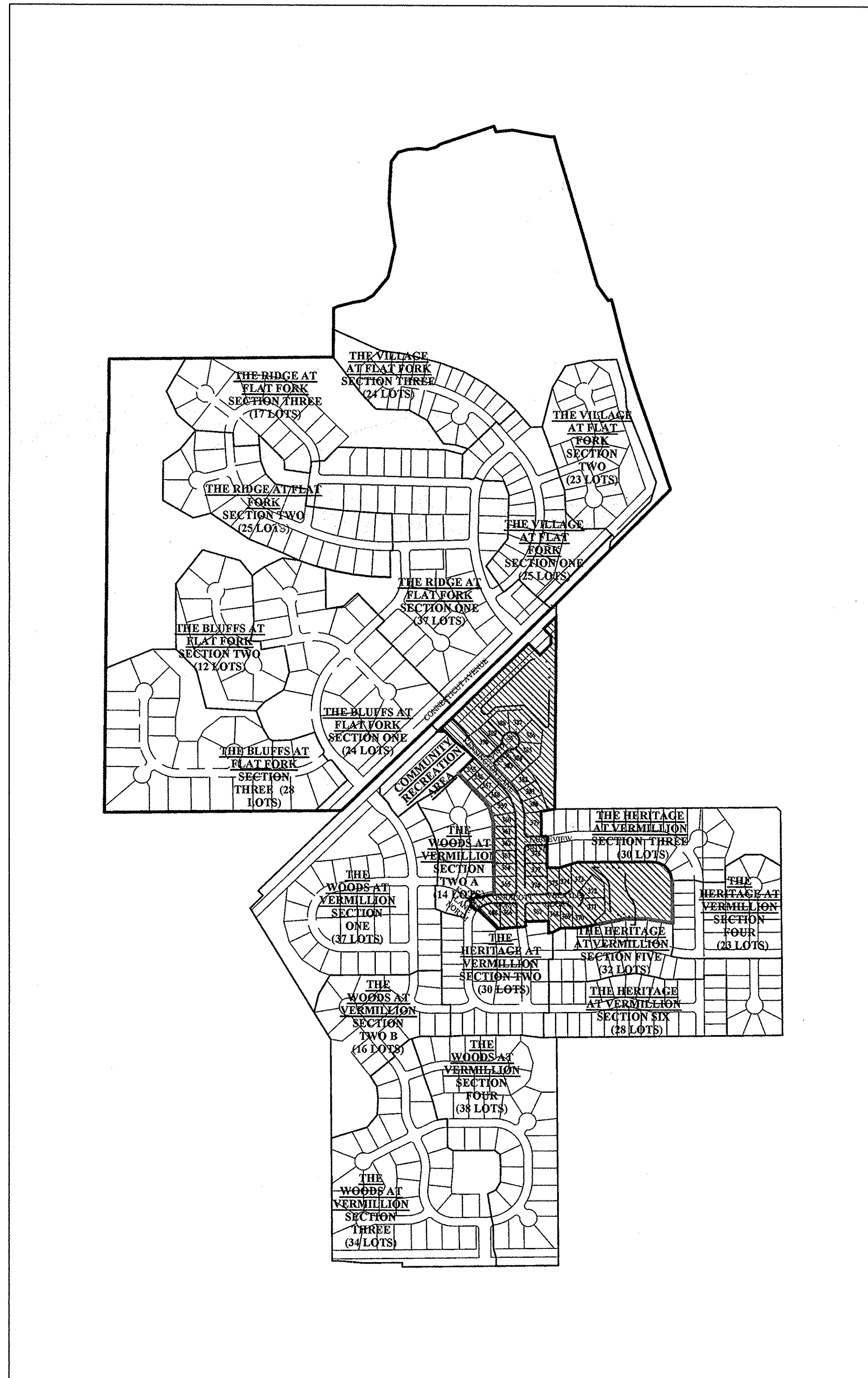
BEAZER HOMES INDIANA, LLP
9202 NORTH MERIDIAN STREET, SUITE 300
INDIANAPOLIS, IN 46260
TELEPHONE: 317-569-3591
CONTACT PERSON: STEVE COOK

PLANS PREPARED BY

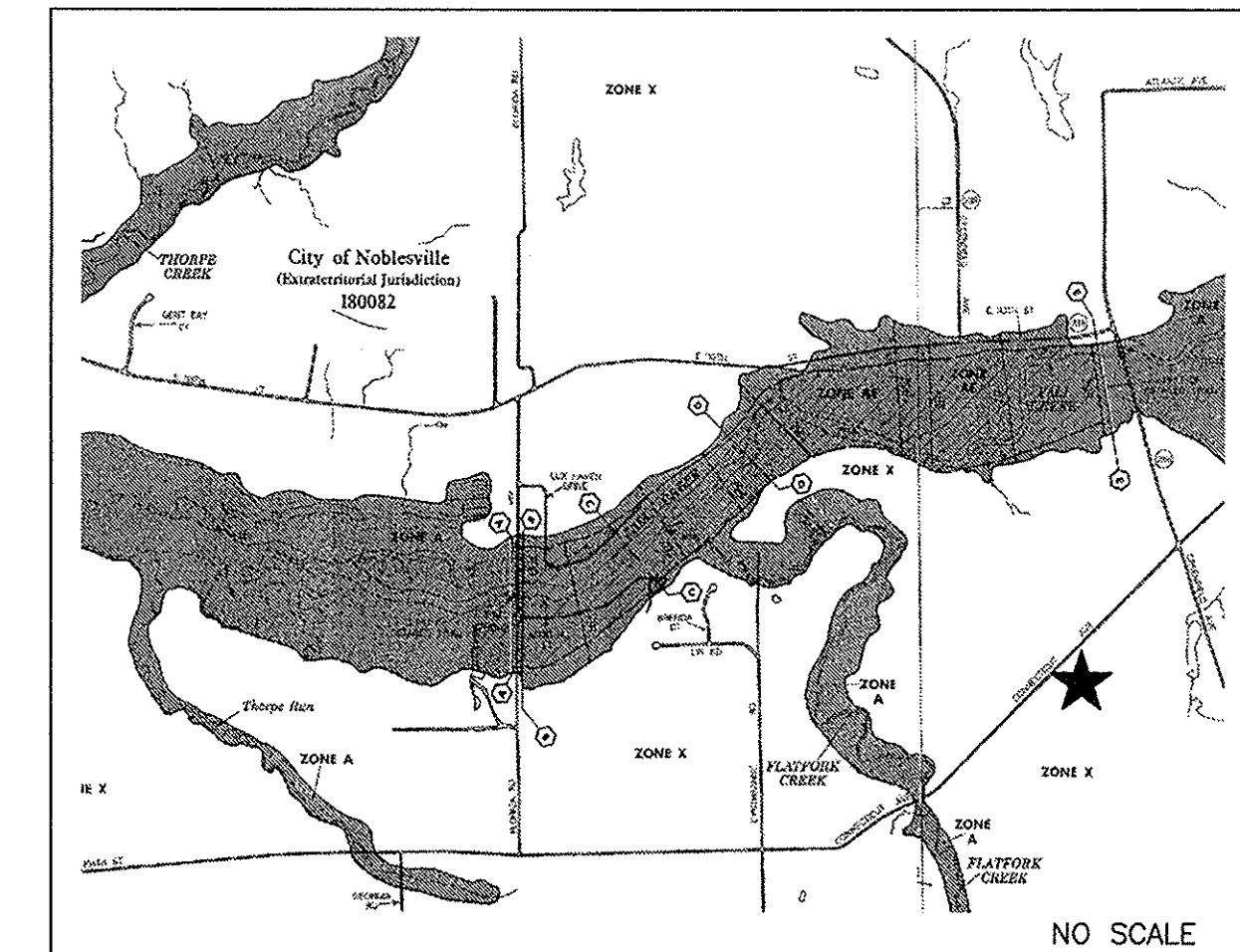
WEIHE ENGINEERS, INC.
10505 N. COLLEGE AVE.
INDIANAPOLIS, IN 46280
(317) 846-6611
CONTACT PERSON: COLIN PATTERSON

BENCHMARK INFORMATION

- SOURCE BENCHMARK**
HSE 28
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800' +/- EAST OF CYNTHIANE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707462
E=269744
EL=855.00 (NAVD 88)
- TBM 1**
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104' +/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1711251
E=271743
EL=858.88 (NAVD 88)
- TBM 2**
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)
- TBM 3**
MAG NAIL SET IN THE NORTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 1,097' +/- EAST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1707470
E=271220
EL=863.33 (NAVD 88)



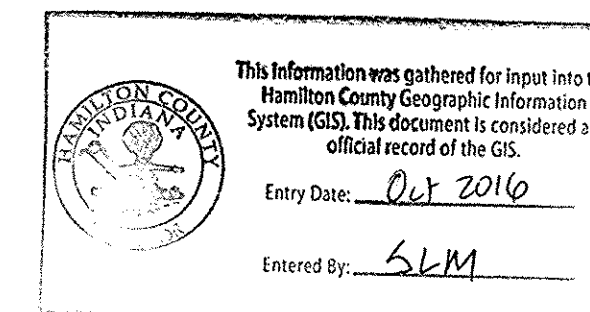
SITE MAP



F.E.M.A. F.I.R.M.

SHEET INDEX

| SHEET NO. | DESCRIPTION |
|-----------|--|
| C001 | TITLE SHEET |
| C100-C102 | EXISTING CONDITIONS / DEMOLITION PLAN |
| C200-C202 | STORMWATER POLLUTION PREVENTION PLAN PHASE 1 |
| C203-C207 | STORMWATER POLLUTION PREVENTION PLAN PHASE 2 |
| C208-C209 | STORMWATER POLLUTION PREVENTION DETAILS & SPECS. |
| C300-C302 | DEVELOPMENT PLAN |
| C400-C403 | STREET PLAN & PROFILE/INTERSECTION DETAILS |
| C404-C406 | STREET DETAILS |
| C407 | TRAFFIC CONTROL/SIGNAGE/SUMP PLAN |
| C408 | MAINTENANCE OF TRAFFIC PLAN |
| C500-C503 | SANITARY SEWER PLAN & PROFILE |
| C504 | SANITARY SEWER DETAILS |
| C505 | SANITARY SEWER SPECIFICATIONS |
| C600-C606 | STORM SEWER PLAN & PROFILE |
| C607-C609 | STORM SEWER DETAILS |
| C610 | STORM SEWER DATA TABLES |
| C700-C701 | WATER MAIN PLAN |
| C702-C704 | WATER MAIN DETAILS/SPECIFICATIONS |
| L1-L2 | LANDSCAPE PLANS - STREET TREES & DETAILS |



ERRORS AND OMISSIONS STATEMENT
DESIGN PROFESSIONAL CERTIFYING PLANS FOR THE PROJECT ACKNOWLEDGES THEIR PROFESSIONAL RESPONSIBILITY FOR ENSURING THAT ALL WORK IS CORRECT, ACCURATE AND COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DESIGN PROFESSIONAL ACCEPTS FULL RESPONSIBILITY AND SHALL DETERMINE A SOLUTION THAT COMPLIES WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES. IF SUCH AN ERROR OR OMISSION IS FOUND, THE DEVELOPER IS NOT RELIEVED TO COMPLY WITH ALL APPROPRIATE LAWS, STANDARDS, REGULATIONS AND ORDINANCES.

NOTE:
THE HAMILTON COUNTY SURVEYOR OFFICE, HAMILTON COUNTY HIGHWAY DEPARTMENT, HSE UTILITIES, AND FORTVILLE WATER STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.

SITE DATA

| STREET: | LENGTHS: |
|-------------------|----------------|
| KENSINGTON LANE | 1,404.79 L.F.± |
| SANDUSKY COURT | 196.84 L.F.± |
| STABLEVIEW DRIVE | 123.61 L.F.± |
| ENDICOTT WAY | 284.70 L.F.± |
| WHEATLEY COURT | 309.74 L.F.± |
| KENORA LANE NORTH | 61.01 L.F.± |
| TOTAL | 2,380.69 L.F.± |

NOTE: DESIGN SPEED FOR ALL INTERIOR ROADS SHALL BE 25 MPH.



Know what's below.
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24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN R. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO. W13.0129
DATE: 09/18/2015
DRAWN BY: JAW
CHECKED BY: JES
DATE: 09/12/2014
REGISTERED PROFESSIONAL ENGINEER
ALVIN E. SKOOG JR., PE 880673

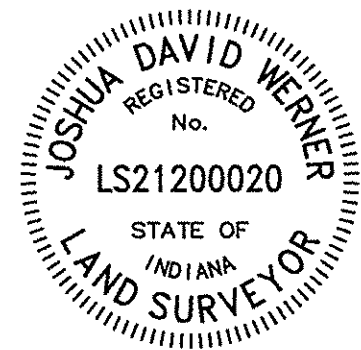
PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
TITLE SHEET
SHEET NO. **C001**
PROJECT NO. **W13.0129**

RECORD DRAWING

DEVELOPMENT PLAN AS-BUILTS
PADS & SWALES ONLY
11/11/2015

JOSHUA DAVID WERNER, LS21200020

- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN
- AS-BUILT TILE DRAIN



BENCHMARK INFORMATION

- SOURCE BENCHMARK
HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER PLATFORM CREEK.
N=707462
E=269744
EL=855.00 (NAVD 88)
- TBM 1
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1710251
E=271743
EL=856.88 (NAVD 88)
- TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1709400
E=273165
EL=864.80 (NAVD 88)
- TBM 3
NAG NAIL SET IN THE NORTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 1,097'+/- EAST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-T17N-R6E.
N=1707470
E=271220
EL=863.33 (NAVD 88)

LEGEND

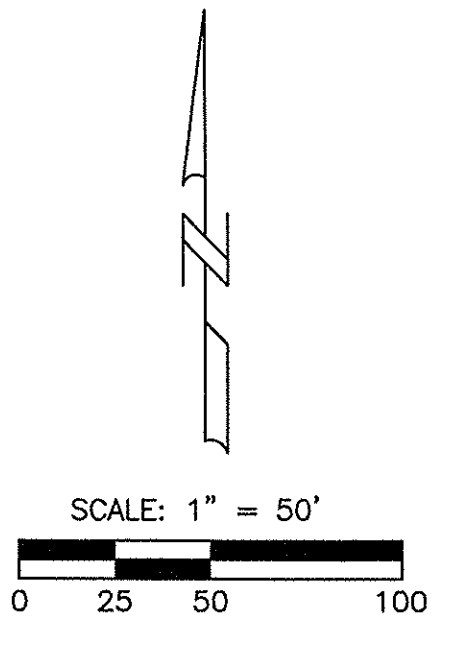
- RIGHT-OF-WAY LINE
 - STORM SEWER LINE
 - SWALE
 - SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - FLOW DIRECTION
 - STORM SEWER INLET
 - STORM INLET
 - TOP OF CASTING
 - INVERT
 - REINFORCED CONCRETE PIPE
 - MANHOLE
 - STRUCTURE
 - DRAINAGE AND UTILITY EASEMENT
 - SANITARY, DRAINAGE, AND UTILITY EASEMENT
 - SANITARY SEWER EASEMENT
 - SANITARY SEWER
 - HANDICAP RAMP
 - MATCH EXISTING GRADE
 - SUBSURFACE DRAIN AND SUMP LINE
 - STORM SEWER
 - GRANULAR BACKFILL
 - CONCRETE END SECTION
 - SUBSURFACE DRAIN
 - SANITARY SEWER PIPE (SDR-35)
 - S.S.P. (UNLESS OTHERWISE NOTED)
 - TYPICAL
 - PROPOSED
 - EXISTING
 - RADIUS
- PAD ELEV (70'x70'), (UNLESS OTHERWISE NOTED)
- MINIMUM FINISHED FLOOR ELEVATION
- VARIABLE WIDTH
- A.D.A. RAMP
- EMERGENCY FLOW ROUTE
- MINIMUM FLOOD PROTECTION GRADE
- AREA OF CONNECTICUT AVENUE PAVEMENT WIDENING (INCLUDING AUXILIARY LANES)

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
- ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
- BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
- ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
- ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
- A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
- ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
- REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
- FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING PROPER MOISTURE CONTENT OF FILL MATERIAL. WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTING TEST SHALL BE RUN ON EACH LIFT, IN FULL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MAINS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
- ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
- ANY GRADES AT BOUNDARY SHALL MEET EXISTING.
- ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
- ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
- THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
- PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
- ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
- FINISH FLOOR TO BE 12" ABOVE PAD, CENTER OF LOT.
- SEE SHEET C203 & C208 FOR POND PLANTING.
- UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLAT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MINIMUM FINISH FLOOR (MFF) SHOWN HEREON BY MORE THAN FIVE-TENTHS (0.50) FOOT.

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: 01/2016
Entered By: SLM

POSITIVE DRAINAGE WILL BE MAINTAINED FOR THIS SITE. NO "BIRDS" OR MORE THAN 1/8" IN DEPTH SHALL BE PERMITTED. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.



RECORD DRAWING OFF-SITE GRADING PLANS 12/06/2014

10505 N. College Avenue
Indianapolis, Indiana 46280
weibe.net
317 846 - 6611
800 452 - 6408
317 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W13.0129
DATE: 09/18/2015
BY: [Signature]
DESIGNED BY: [Signature]
DRAWN BY: [Signature]
CHECKED BY: [Signature]
DATE: 05.12.2014

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
DEVELOPMENT PLAN

SHEET NO. **C300**
PROJECT NO. **W13.0129**

L:\2015\W13.0129\Station ET\Engineering\Drawings\AutoCAD\c300.dwg
 DATE: 11/11/2015 11:11:20 AM
 USER: jdwerner
 PLOT: 11/11/2015 11:11:20 AM

RECORD DRAWING

DEVELOPMENT PLAN AS-BUILTS
SWALES & PADS ONLY
11/11/2015

JOSHUA DAVID WERNER, LS21200020



BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER FLATFORK CREEK.
N=1707482
E=271743
EL=855.00 (NAVD 88)

TBM 1
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- WEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1711251
E=271743
EL=858.88 (NAVD 88)

TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
N=1709400
E=273165
EL=864.60 (NAVD 88)

TBM 3
MAG NAIL SET IN THE NORTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 1,097'+/- EAST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
N=1707470
E=271220
EL=863.33 (NAVD 88)

- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN
- AS-BUILT TILE DRAIN

- ### LEGEND
- RIGHT-OF-WAY LINE
 - STORM SEWER LINE
 - SWALE
 - SANITARY SEWER LINE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER LATERAL
 - FLOW DIRECTION
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOURS
 - PROPOSED ELEVATION
 - STORM SEWER INLET
 - TOP OF CASTING
 - INVERT
 - REINFORCED CONCRETE PIPE
 - D.A.U.E.
 - S.D.A.U.E.
 - S.E.
 - SAN
 - H.C.
 - M.E.
 - MATCH EXISTING GRADE
 - SUBSURFACE DRAIN AND SUMP LINE
 - STORM SEWER
 - GRANULAR BACKFILL
 - CONCRETE END SECTION
 - SUBSURFACE DRAIN
 - SANITARY SEWER PIPE (SDR-35)
 - (UNLESS OTHERWISE NOTED)
 - TYPICAL
 - PROPOSED
 - EXISTING
 - RADIUS
- 860.4 = PAD ELEV (70'-70'), (UNLESS OTHERWISE NOTED)
- MFFE = MINIMUM FINISHED FLOOR ELEVATION
- V.W. = VARIABLE WIDTH
- * = A.D.A. RAMP
- ← = EMERGENCY FLOW ROUTE
- MFPG = MINIMUM FLOOD PROTECTION GRADE

GENERAL GRADING NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
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- ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
- 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
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- FINISH FLOOR TO BE 12" ABOVE PAD, CENTER OF LOT.
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- UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLAT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MINIMUM FINISH FLOOR (MFF) SHOWN HEREON BY MORE THAN FIVE-TENTHS (0.50)-FOOT.

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: Oct 2016
Entered By: SLM

POSITIVE DRAINAGE WILL BE MAINTAINED FOR THIS SITE. NO "BROGDATHS" OF MORE THAN 1/8" IN DEPTH SHALL BE PERMITTED. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.



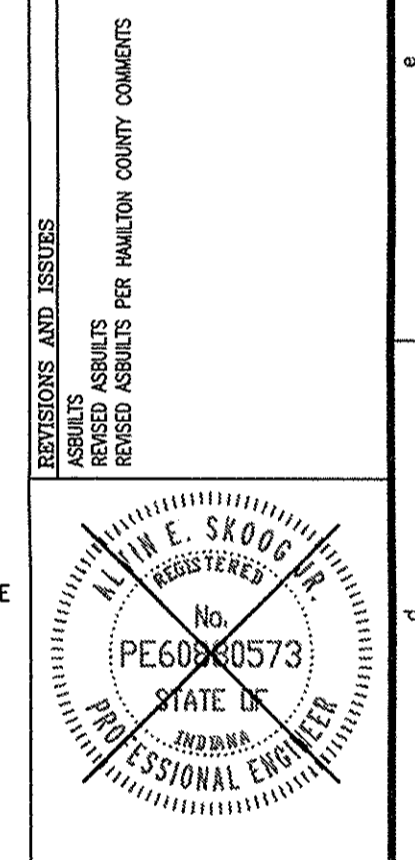
SCALE: 1" = 50'
0 25 50 100

RECORD DRAWING OFF SITE GRADING PLANS 12/06/2014

10505 N. College Avenue
Indianapolis, Indiana 46280
weibe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S., FOUNDER



| | |
|-------------|------------|
| PROJECT NO. | W13.0129 |
| DATE | 02/25/2015 |
| DESIGNED BY | JAW |
| DRAWN BY | JAW |
| CHECKED BY | JES |
| DATE | 03.12.2014 |



ALVIN E. SKOOG JR., PE 686978

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
DEVELOPMENT PLAN
Part of the 28.83 +/- Acres, 15, Township 15, Range 6 East, Ord. Creek Township, Hamilton County, Indiana

SHEET NO.
C301
PROJECT NO.
W13.0129

LOCATION: W:\2013\W130129\Section 01\Engineering\Design\Submittal\AS-BUILT\030 Development Plan.dwg
DATE/TIME: November 11, 2015 - 9:20am
PLOT/DWG BY: jwerner

RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS & SWALES ONLY
11/11/2015

JOSHUA DAVID WERNER, LS21200020



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN
- AS-BUILT TILE DRAIN

BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER PLATFORK CREEK.
N=1707452
E=289744
EL=855.00 (NAVD 88)

TBM 1
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1711251
E=271743
EL=858.88 (NAVD 88)

TBM 2
RAILROAD SPIKE SET IN THE WEST SIDE OF A UTILITY POLE LOCATED APPROXIMATELY 784' SOUTH OF THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
N=1709400
E=273185
EL=864.60 (NAVD 88)

TBM 3
MAG NAIL SET IN THE NORTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF 101ST STREET, APPROXIMATELY 1,097'+/- EAST OF THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF SECTION 8-117N-R6E.
N=1707470
E=271220
EL=863.33 (NAVD 88)

LEGEND

- RIGHT-OF-WAY LINE
- STORM SEWER LINE
- SWALE
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- SANITARY SEWER LATERAL
- FLOW DIRECTION
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- PROPOSED ELEVATION
- STORM REEFING INLET
- CONCRETE INLET
- TOP OF CASTING
- INVERT
- REINFORCED CONCRETE PIPE
- MANHOLE
- STRUCTURE
- DRAINAGE AND UTILITY EASEMENT
- SANITARY DRAINAGE AND UTILITY EASEMENT
- SANITARY SEWER EASEMENT
- SANITARY SEWER
- HANDICAP RAMP
- MATCH EXISTING GRADE
- SUBSURFACE DRAIN AND SUMP LINE
- STORM SEWER
- GRANULAR BACKFILL
- CONCRETE END SECTION
- SUBSURFACE DRAIN
- SANITARY SEWER PIPE (SDR-35)
- SANITARY SEWER PIPE (SDR-35) (UNLESS OTHERWISE NOTED)
- TYPICAL
- PROPOSED
- EXISTING
- RADIUS
- PAD ELEV (70'x70') (UNLESS OTHERWISE NOTED)
- FINISHED FLOOR ELEVATION
- VARIABLE WIDTH
- A.D.A. RAMP
- EMERGENCY FLOW ROUTE
- MINIMUM FLOOD PROTECTION GRADE

GENERAL GRADING NOTES:

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6. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
7. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
8. 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
9. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
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14. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
15. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
16. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
17. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
18. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
19. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
20. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
21. FINISH FLOOR TO BE 12" ABOVE PAD, CENTER OF LOT.
22. SEE SHEET C203 & C208 FOR POND PLATING.
23. UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLAT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MINIMUM FINISH FLOOR (MFF) SHOWN HEREON BY MORE THAN FIVE-TENTHS (0.50) FOOT.

POSITIVE DRAINAGE WILL BE MAINTAINED FOR THIS SITE. NO "BIRDBATHS" OF MORE THAN 1/8" IN DEPTH SHALL BE PERMITTED. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.



SCALE: 1" = 50'
0 25 50 100

Within Indiana Call
811 or 800-382-5544
24 Hours a Day, 7 Days a Week.
PER INDIANA STATE LAW IC 8-1-26
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE (811) WORKING
DAYS BEFORE COMMENCING WORK.

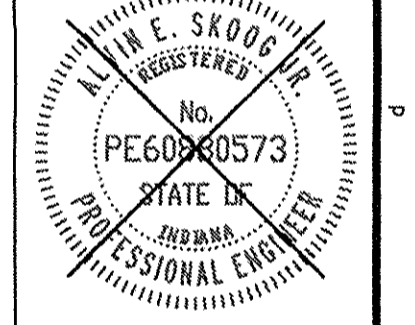
RECORD DRAWING - OFF-SITE GRADING PLANS - 12/06/2014

10505 N. College Avenue
Indianapolis, Indiana 46280
we@wehe.com
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

| | |
|--------------|------------------|
| PROJECT NO.: | W13.0129 |
| DWG. NAME: | Development Plan |
| DESIGNED BY: | JKW |
| DRAWN BY: | JKW |
| CHECKED BY: | JKW |
| DATE: | 09.12.2014 |

| | |
|-----------------------|------------|
| DATE: | 09/12/2015 |
| DATE: | 11/11/2015 |
| REVISIONS AND ISSUES: | |
| DATE: | |
| BY: | |
| REASON: | |



ALVIN E. SKOOG JR., PE 680573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BRAZIER HOMES INDIANA, LLLP
DEVELOPMENT PLAN
Part of the #229 1/4 of Section 15, Township 15, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO.
C302
PROJECT NO.
W13.0129

LOCATION: W13.0129 Section 15, Township 15, Range 6 East, Full Creek Township, Hamilton County, Indiana
DATE: 11/11/2015
SCALE: 1" = 50'
PLOT: 11/11/2015
PLOT: 11/11/2015

BENCHMARK INFORMATION

SOURCE BENCHMARK
HSE 29
HSE DISC IN CONCRETE SET 5' SOUTH OF THE SOUTH BACK OF CURB ALONG 101ST ST., 1800'+/- EAST OF CYNTHIANNE RD., 33' WEST OF THE FIRST DRIVE WEST OF THE BRIDGE OVER PLATFORK CREEK.
N=1707462
E=2897143
EL=855.00 (NAVD 88)

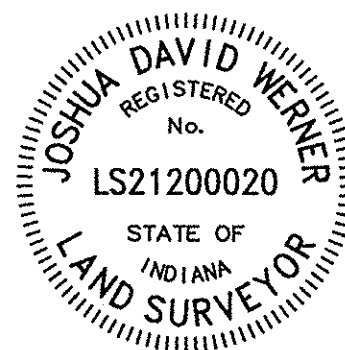
TBM 1
RAILROAD SPIKE SET IN THE SOUTHWEST SIDE OF A 20" TREE LOCATED ON THE SOUTHEAST SIDE OF CONNECTICUT AVENUE, APPROXIMATELY 1,104'+/- SOUTHWEST OF THE INTERSECTION OF CONNECTICUT AVENUE WITH STATE ROAD 238.
N=1711251
E=271743
EL=858.88 (NAVD 88)

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N=1709400
E=273185
EL=864.60 (NAVD 88)

TBM 3
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N=1707470
E=271220
EL=863.33 (NAVD 88)

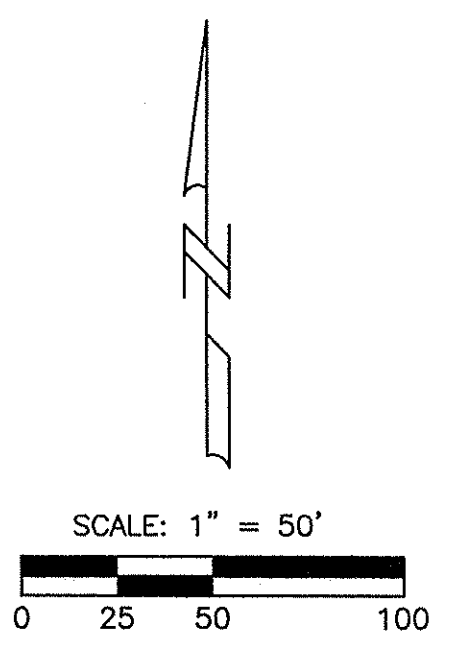
RECORD DRAWING
DEVELOPMENT PLAN AS-BUILTS
PADS & SWALES ONLY
11/11/2015

JOSHUA DAVID WERNER, LS21200020



- AS-BUILT INFORMATION
- BUILT AS PLANNED
- AS-BUILT SPOT ELEVATION
- AS-BUILT RISER
- AS-BUILT SUBSURFACE DRAIN
- AS-BUILT TILE DRAIN

POSITIVE DRAINAGE WILL BE MAINTAINED FOR THIS SITE. NO "BIRDBATHS" OF MORE THAN 1/8" IN DEPTH SHALL BE PERMITTED. ANY AREAS THAT HOLD WATER MORE THAN 1/8" DEEP SHALL BE CUT OUT AND CORRECTED TO POSITIVE DRAINAGE AT NO COST TO THE OWNER/ DEVELOPER/ OR ENGINEER.



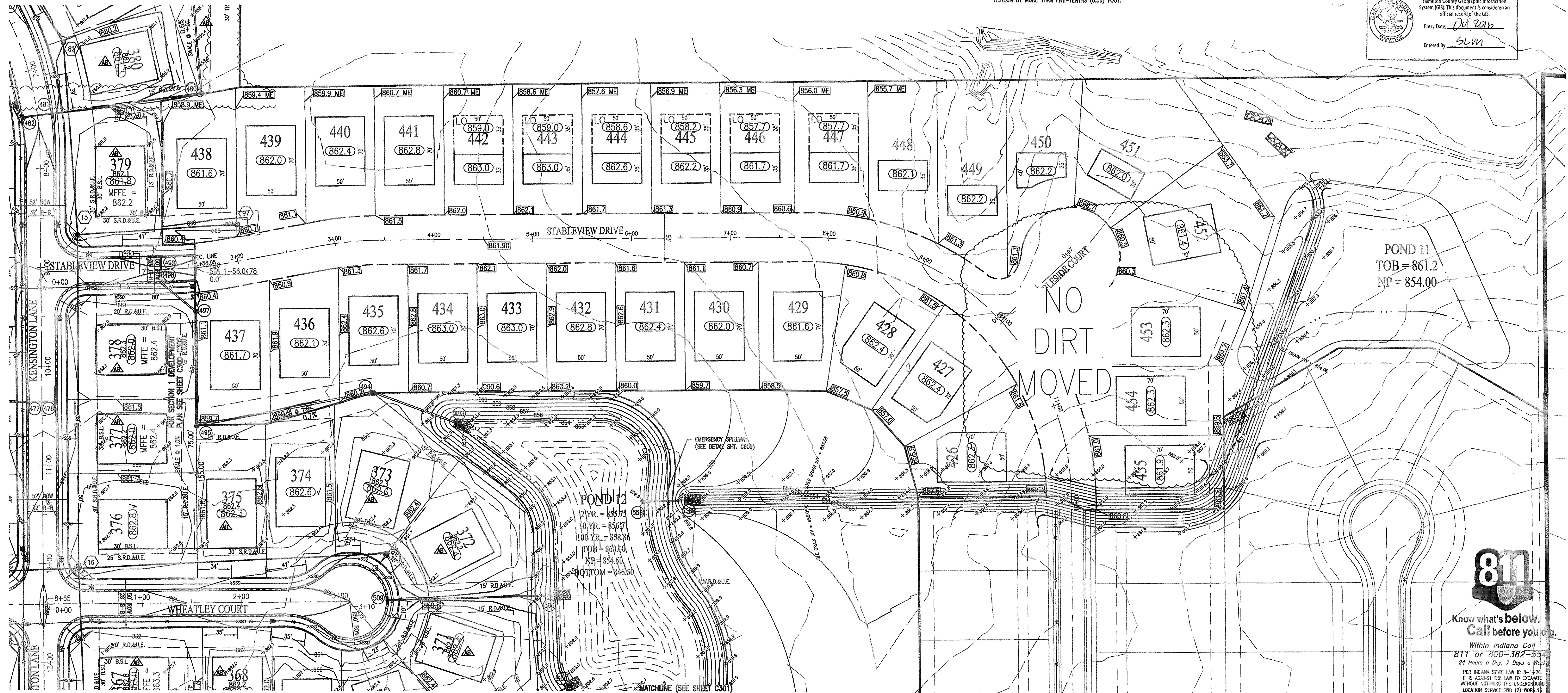
NOTE:
THIS SHEET TO BE USED FOR OFFSITE DIRT PLACEMENT ONLY. THE DIRT WILL BE MOVED DURING SECTION 1 CONSTRUCTION

GENERAL GRADING NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
3. ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
5. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
6. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
7. ALL SIDEWALKS TO BE 5'-0" WIDE AND INSTALLED AS SHOWN ON THIS PLAN.
8. 2" ROLLED CURB & GUTTER SHALL BE INSTALLED THROUGHOUT ENTIRE PROJECT AS SHOWN UNLESS NOTED OTHERWISE.
9. A HANDICAPPED RAMP IS TO BE INSTALLED AT ALL LOCATIONS WHERE A SIDEWALK IS SHOWN INTERSECTING A CURB - SEE DETAIL.
10. ANY DRAINAGE TILE SYSTEM COMING ONTO PROPERTY SHALL BE CONNECTED INTO THE PROPOSED DRAINAGE SYSTEM IN ORDER TO MAINTAIN POSITIVE DRAINAGE FOR THE OFFSITE SYSTEM.
11. REFER TO THE INDIANA DEPARTMENT OF TRANSPORTATION (INDOT) STANDARD SPECIFICATIONS, LATEST EDITION WITH SUPPLEMENTS, FOR BASIC MATERIALS AND CONSTRUCTION METHODS. THE SECTIONS BELOW FOR VARIOUS ITEMS ARE TO CLARIFY THE INTENT OF THE REQUIREMENTS FOR THIS PROJECT. PLEASE NOTE THAT OTHER SECTIONS OF THE INDOT STANDARD SPECIFICATIONS MAY ALSO BE APPLICABLE.
12. FILL MATERIAL SHALL CONSIST OF EARTH OBTAINED FROM CUT AREAS, BORROW PITS OR OTHER APPROVED SOURCES. EARTH SHALL BE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES AND LARGE ROCKS. THE FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX INCHES FOLLOWING COMPACTION. PROPER MOISTURE CONTENT OF FILL MATERIAL WILL BE SUCH TO ACHIEVE SPECIFIED COMPACTION DENSITY. ALL FILL BENEATH PAVED AREAS, FLOOR SLABS AND FUTURE BUILDINGS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY PER ASTM D-1557. FIELD COMPACTION TEST SHALL BE RUN ON EACH LIFT, IN FULL SECTIONS, AND THE REQUIRED COMPACTION ON EACH LIFT SHALL BE IN ACCORDANCE WITH INDOT SECTION 211.
13. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO LOCATE MANS, CONDUITS, SERVICE LINES, ETC. IN THE AFFECTED CONSTRUCTION AREA. EXISTING UTILITY STRUCTURES ARE SHOWN HERE IN ACCORDANCE WITH AVAILABLE INFORMATION. THE LOCATION AND PROTECTION OF UTILITY STRUCTURES, THEIR SUPPORT AND MAINTENANCE DURING CONSTRUCTION (IN COOPERATION WITH APPLICABLE UTILITY COMPANY) IS THE EXPRESSED RESPONSIBILITY OF THE CONTRACTOR.
14. ALL SPOT ELEVATIONS ARE TO FINISHED GRADE.
15. ALL GRADES AT BOUNDARY SHALL MEET EXISTING.
16. ANY PART OF SANITARY OR STORM SEWER TRENCHES RUNNING UNDER OR WITHIN 5' OF PAVEMENT TO BE BACKFILLED WITH GRANULAR MATERIAL.
17. ALL CONSTRUCTION ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH O.S.H.A. STANDARDS FOR WORKER SAFETY.
18. THE CONTRACTOR SHALL CONFIRM ALL EARTHWORK QUANTITIES PRIOR TO THE START OF CONSTRUCTION. IF AN EXCESS OR SHORTAGE OF EARTH IS ENCOUNTERED, THE CONTRACTOR SHALL CONFIRM WITH THE OWNER AND ENGINEER THE REQUIREMENTS FOR STOCKPILING, REMOVAL OR IMPORTING OF EARTH.
19. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS AFTER INSTALLATION. CONTRACTOR TO TEST FOR AND CORRECT ANY PONDING CONDITIONS.
20. ALL 6" SSD SHALL BE DOUBLE WALL SMOOTH BORE PIPE. (SEE HAMILTON COUNTY STANDARD DETAILS)
21. FINISH FLOOR TO BE 12" ABOVE PAD, CENTER OF LOT.
22. SEE SHEET C203 & C208 FOR POND PLANTING.
23. UNLESS APPROVED OTHERWISE BY HSE, THE FINISHED FLOOR ELEVATION ON A PLAT PLAN FOR A LOT IN THIS DEVELOPMENT CANNOT EXCEED THE CORRESPONDING MINIMUM FINISH FLOOR (MFF) SHOWN HEREON BY MORE THAN FIVE-TENTHS (0.50) FOOT.

- LEGEND**
- = RIGHT-OF-WAY LINE
 - = STORM SEWER LINE
 - = SWALE
 - = SANITARY SEWER LINE
 - = SANITARY SEWER MANHOLE
 - = SANITARY SEWER LATERAL
 - = FLOW DIRECTION
 - = EXISTING SPOT ELEVATION
 - = EXISTING CONTOURS
 - = PROPOSED ELEVATION
 - = STORM INLET
 - = STORM BAFFLE INLET
 - = STORM INLET
 - = TOP OF CASTING
 - = INVERT
 - = REINFORCED CONCRETE PIPE
 - = MANHOLE
 - = STRUCTURE
 - = DRAINAGE AND UTILITY EASEMENT
 - = SANITARY, DRAINAGE, AND UTILITY EASEMENT
 - = SANITARY SEWER EASEMENT
 - = SANITARY SEWER
 - = HANDICAP RAMP
 - = MATCH EXISTING GRADE
 - = SUBSURFACE DRAIN AND SUMP LINE
 - = STORM SEWER
 - = GRANULAR BACKFILL
 - = CONCRETE END SECTION
 - = SUBSURFACE DRAIN
 - = SANITARY SEWER PIPE (SDR-35) (UNLESS OTHERWISE NOTED)
 - = TYPICAL
 - = PROPOSED
 - = EXISTING
 - = RADIUS
 - = PAVED ELEV (70'±70') (UNLESS OTHERWISE NOTED)
 - = MFFE = MINIMUM FINISHED FLOOR ELEVATION
 - = V.W. = VARIABLE WIDTH
 - = A.D.A. RAMP
 - = EMERGENCY FLOW ROUTE
 - = MFFPG = MINIMUM FLOOD PROTECTION GRADE
 - = AREA OF CONNECTICUT AVENUE PAVEMENT WIDENING (INCLUDING AUXILIARY LANES)

This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: 04/20/16
Entered By: SLM



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Indianapolis, Indiana 46280
weihene.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W13.0129
DATE: 07/16/2015
BY: BKL
CHECKED BY: BKL
DATE: 11/11/2015
DISSEMINATED BY:
DRAWN BY: RPL
CHECKED BY: JES
DATE: 08.12.2014

EXCEPTIONS AND ISSUES:
AS-BUILTS
REFER USUALS PER HAMILTON COUNTY COMMENTS

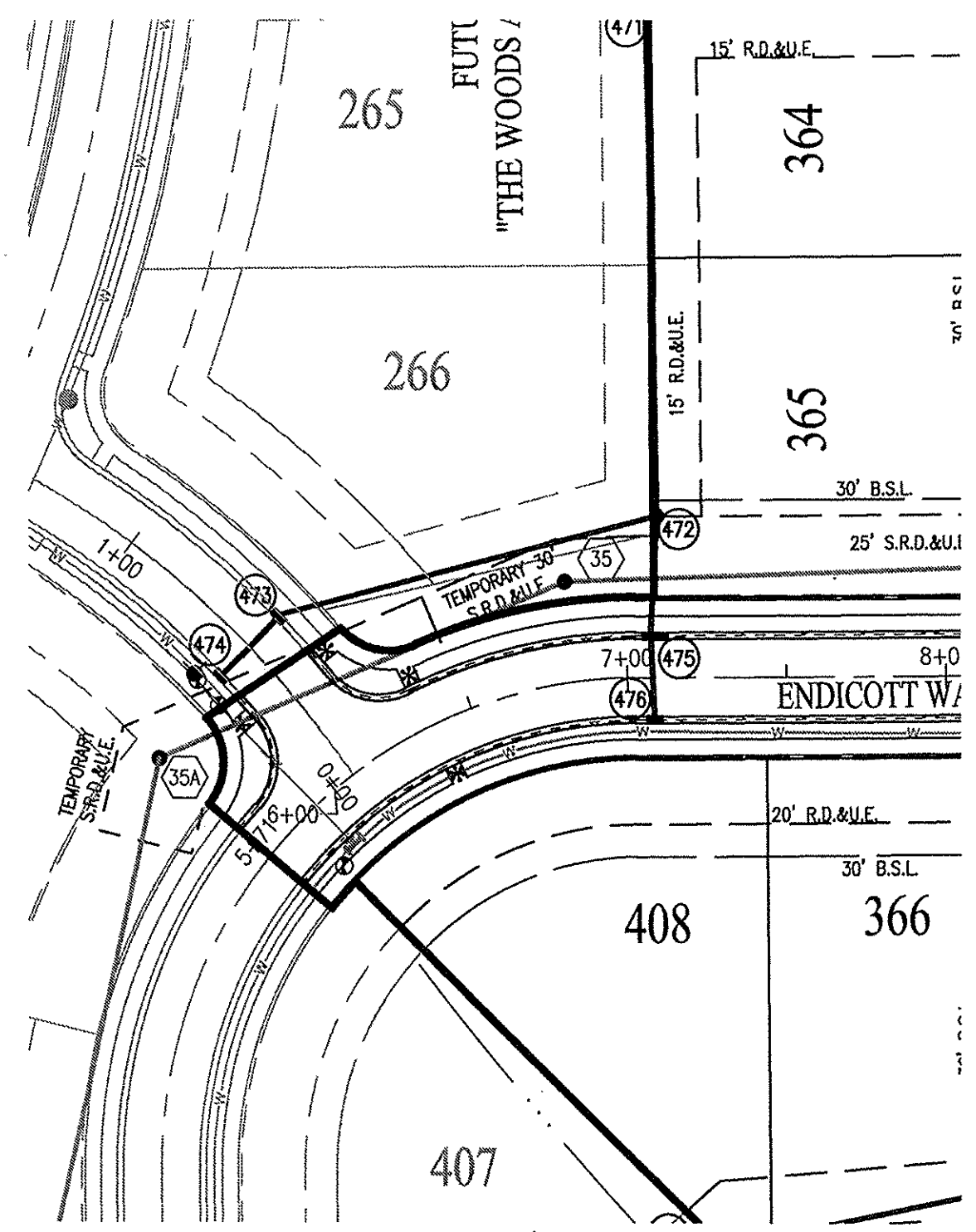
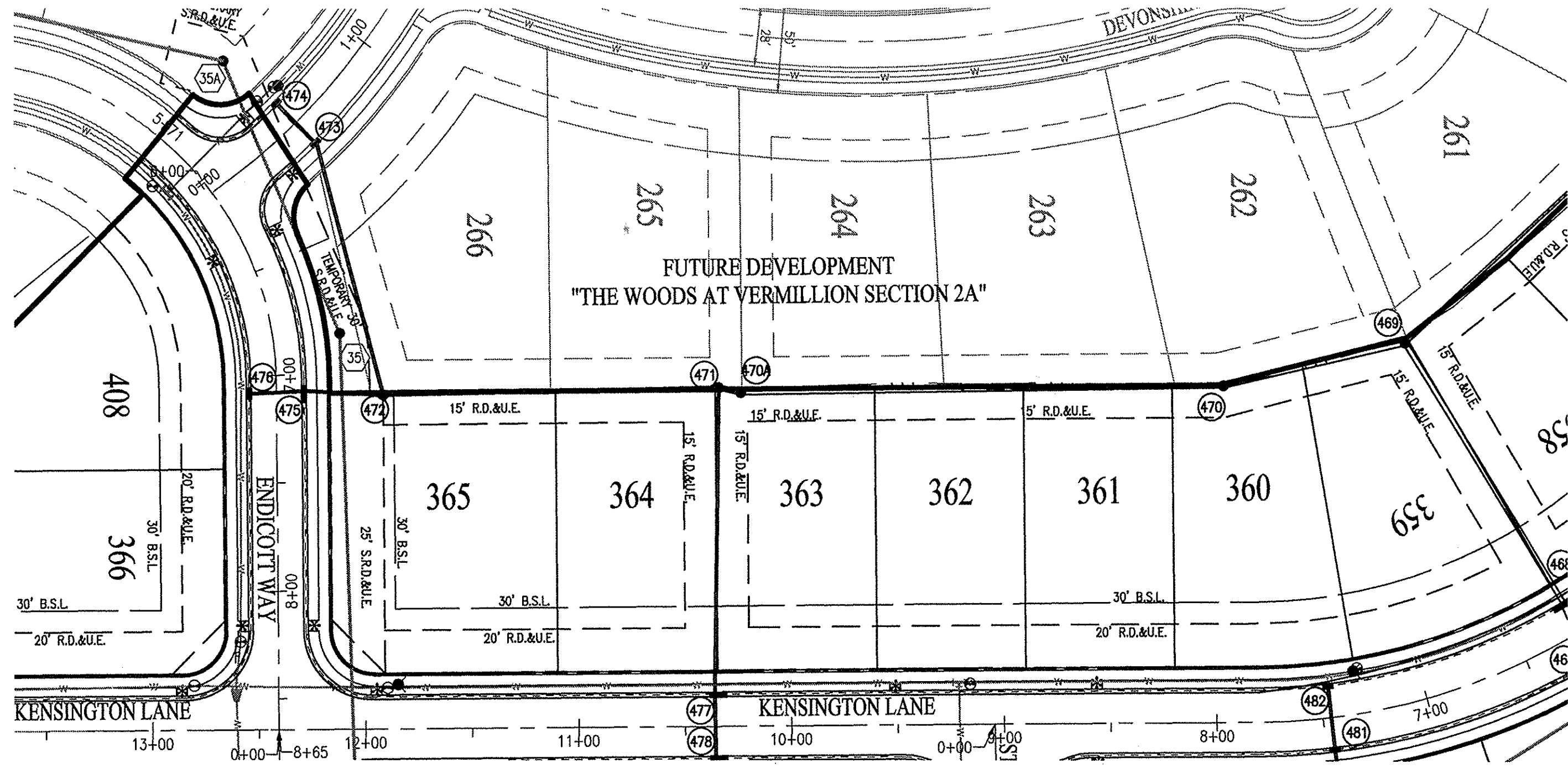
ALVIN E. SKOOG JR., PE 800573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
OFFSITE DEVELOPMENT PLAN
Part of the 28.88 1/4 of Section 16, Township 17 North, Range 6 East, Road Over, Township, Hamilton County, Indiana.

SHEET NO.
C303

PROJECT NO.
W13.0129

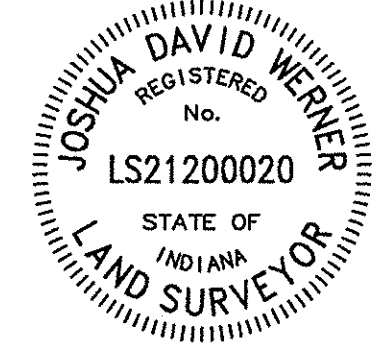
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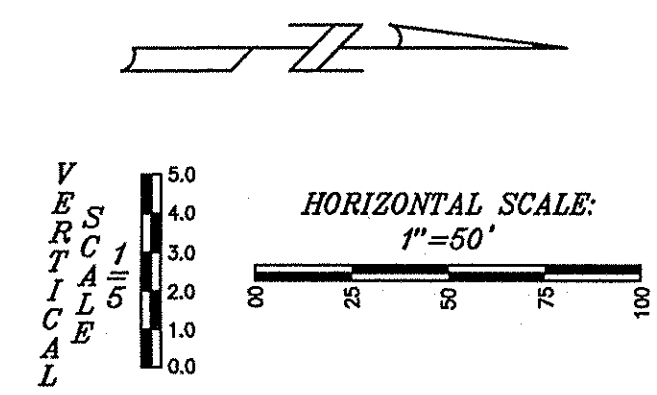
RECORD DRAWING

STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
12/10/2015

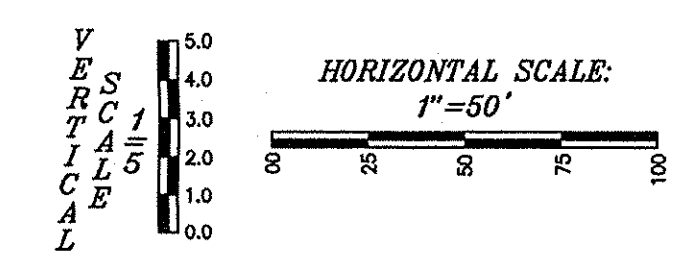
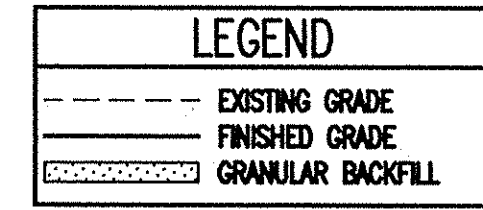
Joshua David Werner
JOSHUA DAVID WERNER, LS21200020



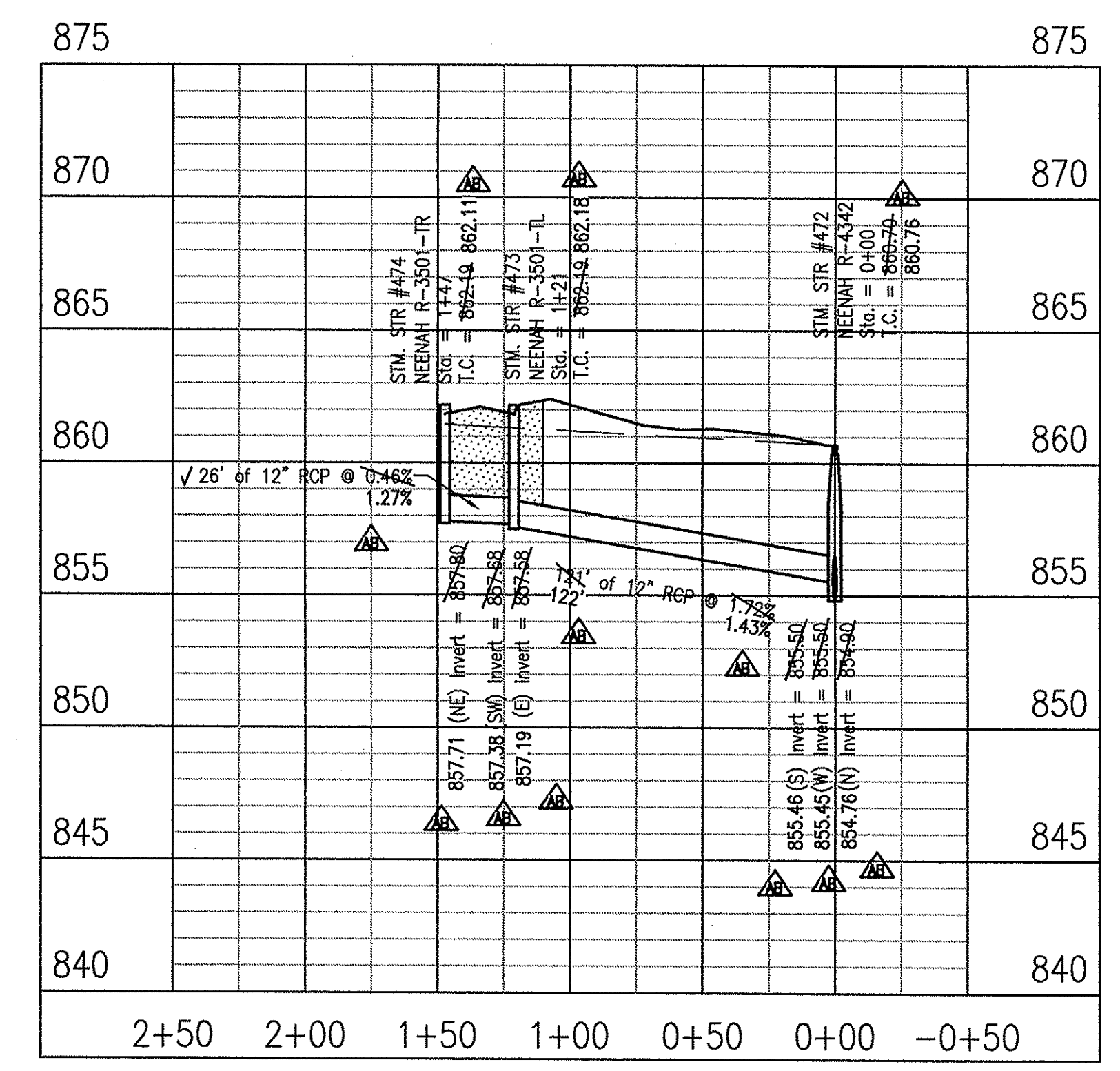
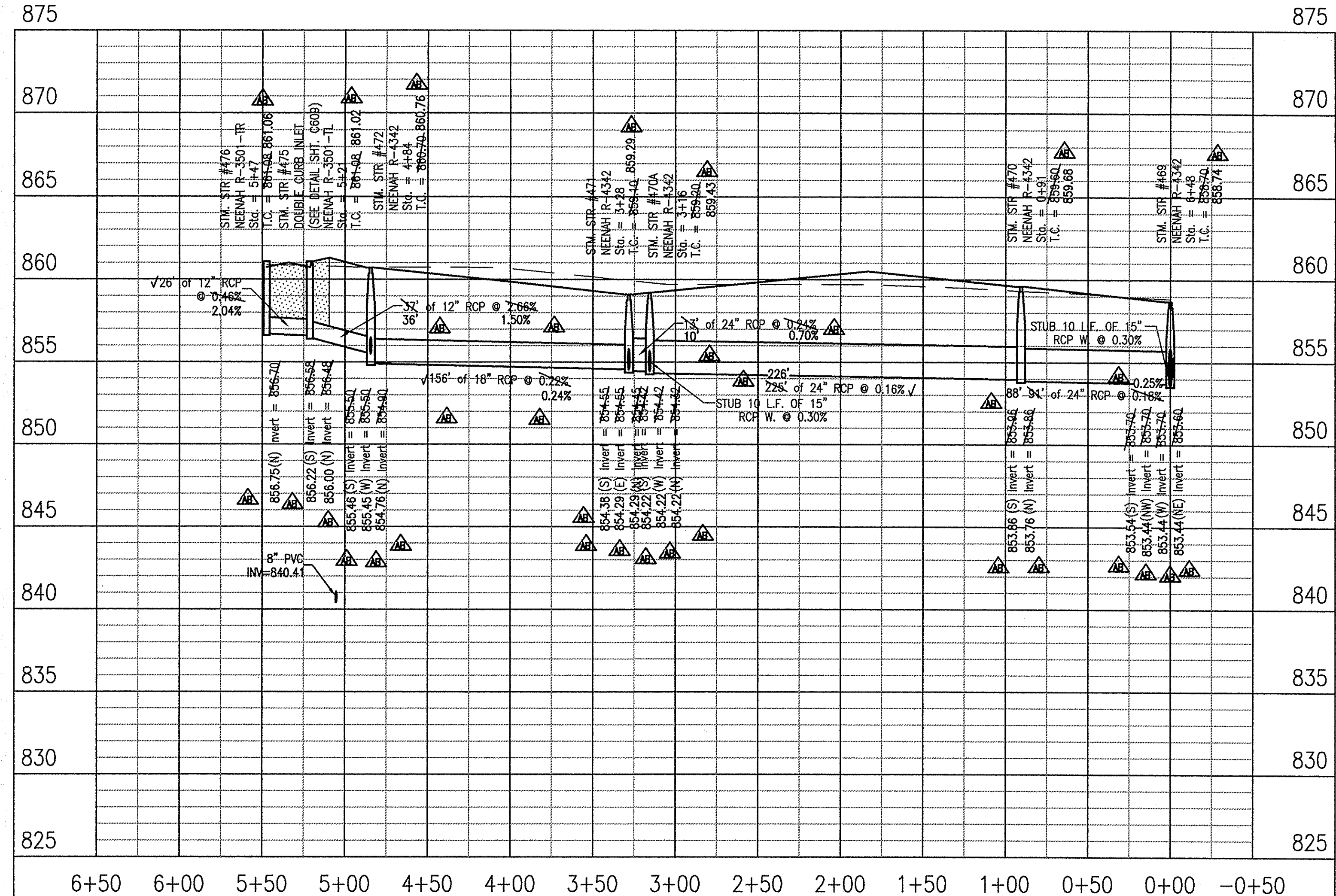
- ▲ - ASBUILT INFORMATION
- √ - BUILT AS PLANNED



NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
ENCROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: *08/20/16*
Entered By: *SLM*

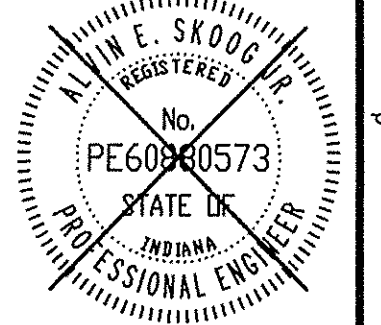


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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
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ALLAN H. WEIHE, P.E., F.O.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

| | |
|--------------|------------|
| PROJECT NO.: | W13.0129 |
| DWG NAME: | AS BUILT |
| DATE: | 09/27/2015 |
| DESIGNED BY: | AS BUILT |
| CHECKED BY: | AS BUILT |
| DATE: | 09/27/2015 |

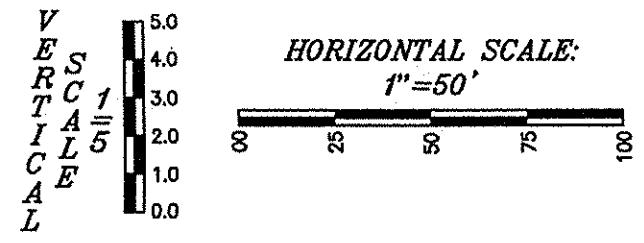
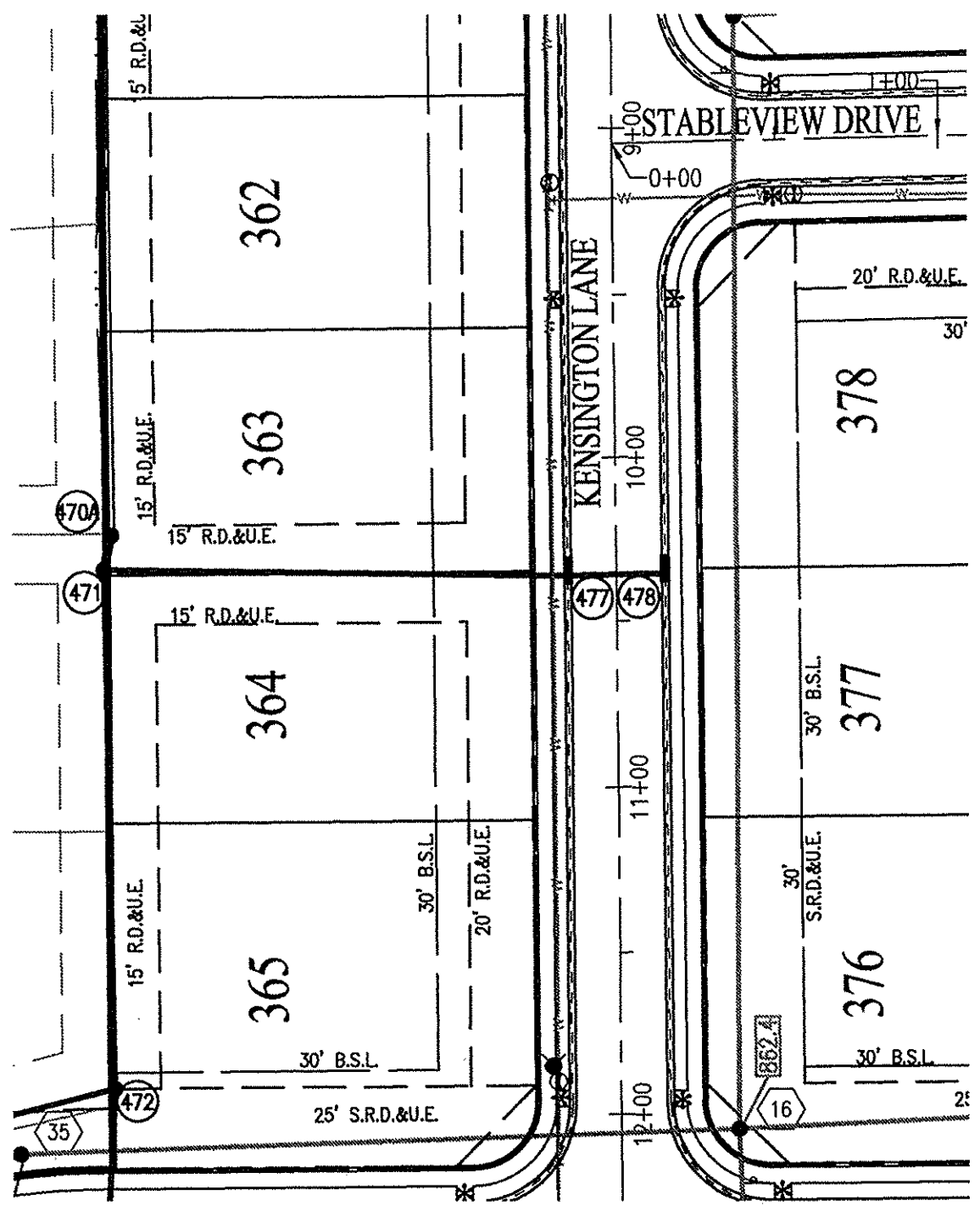
REVISIONS AND ISSUES
ASBUILT ASBUILT PER HAMILTON COUNTY COMMENTS
REVISIONS PER HAMILTON COUNTY COMMENTS



ALVIN E. SKOOG JR., PE 890573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
Part of the SPEC 1/1 of Section 15, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana.

SHEET NO.
C600
PROJECT NO.
W13.0129



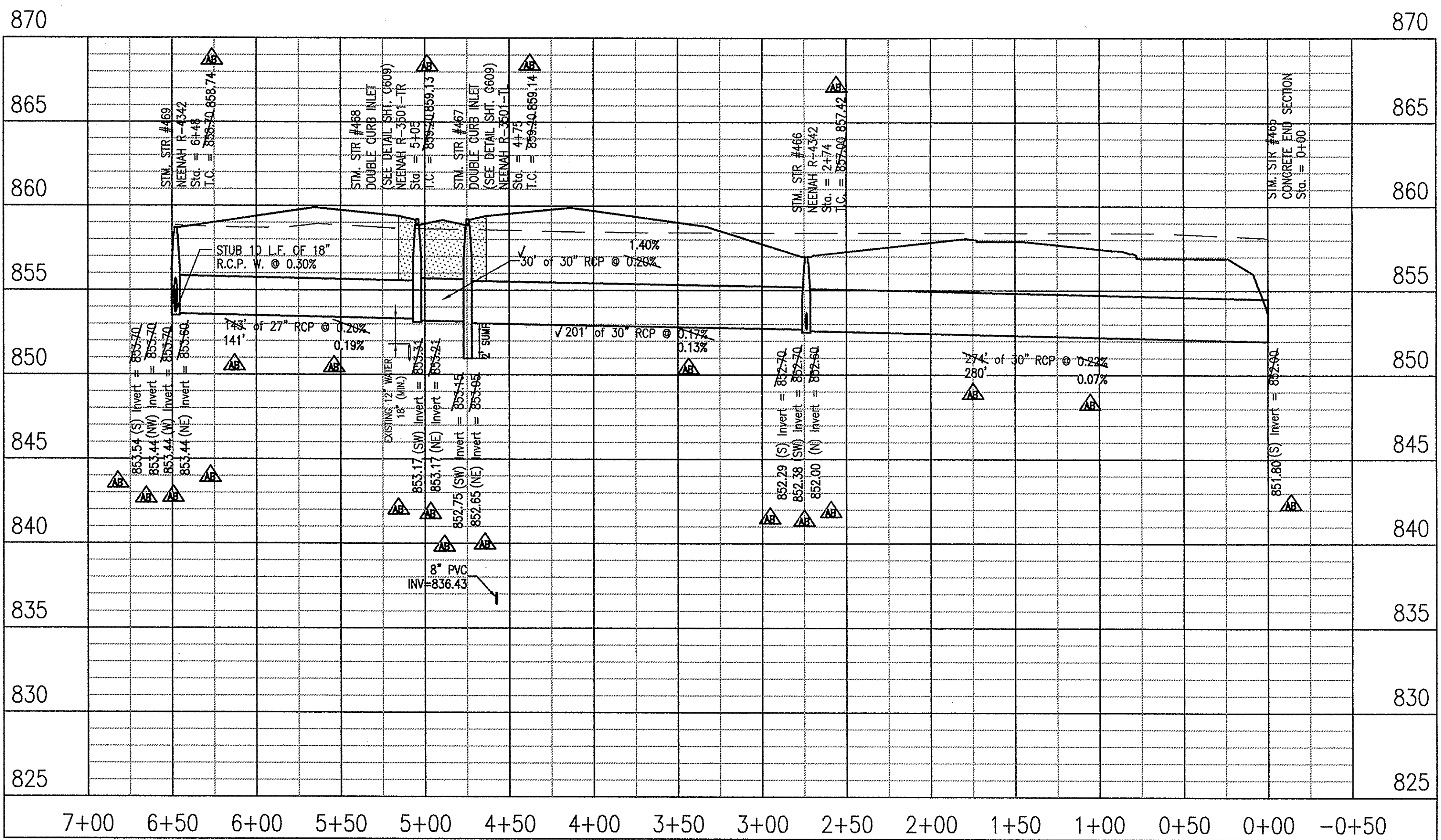
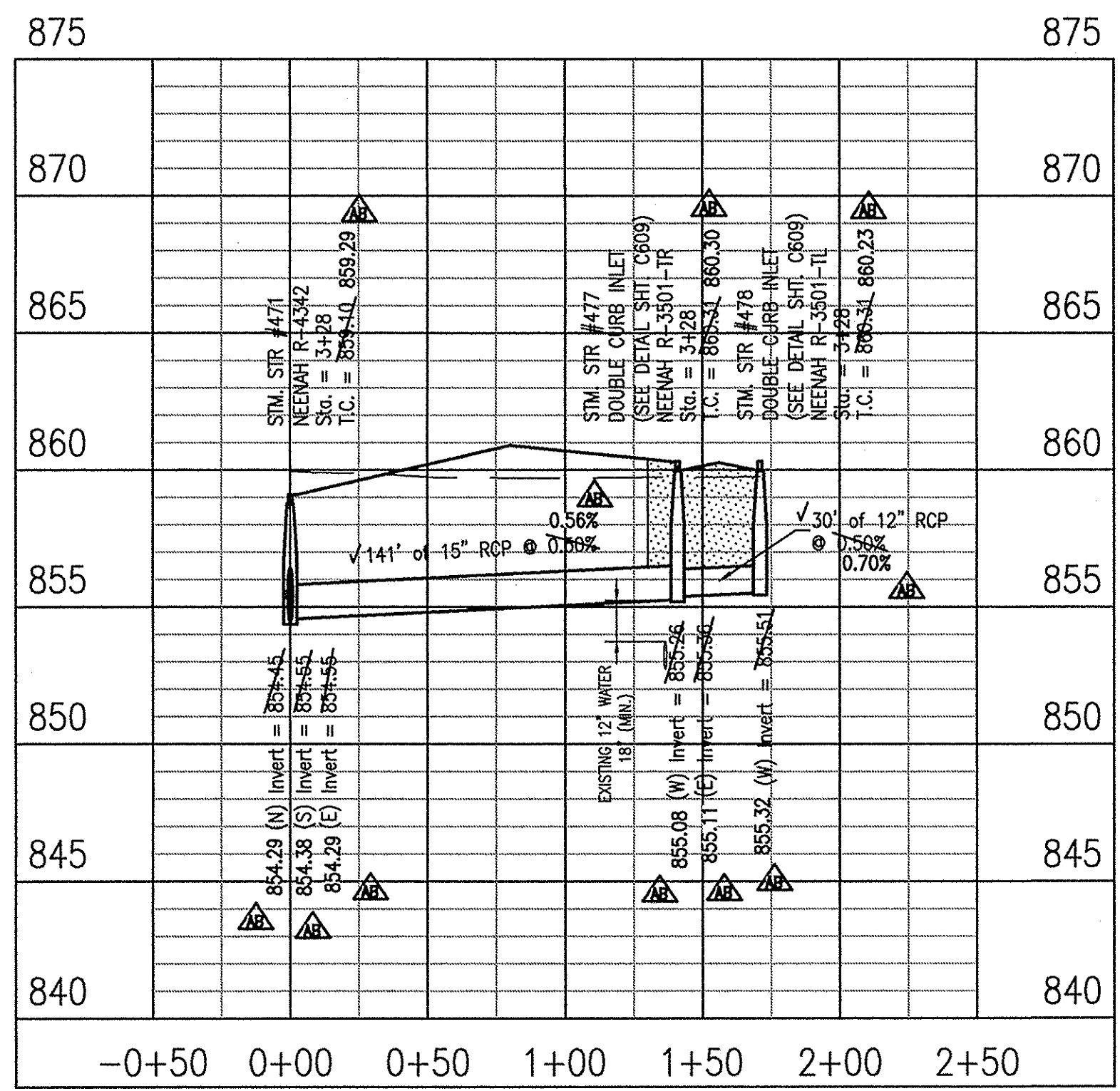
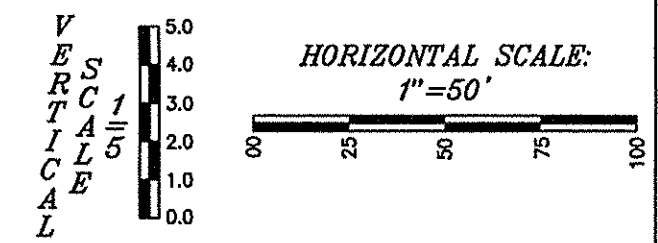
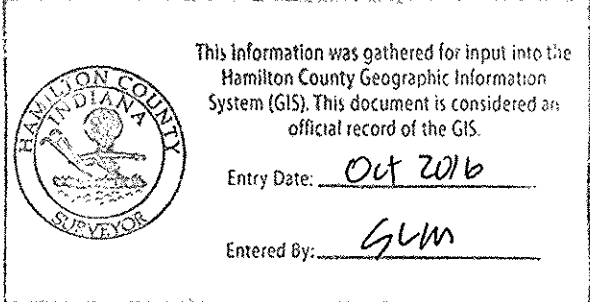
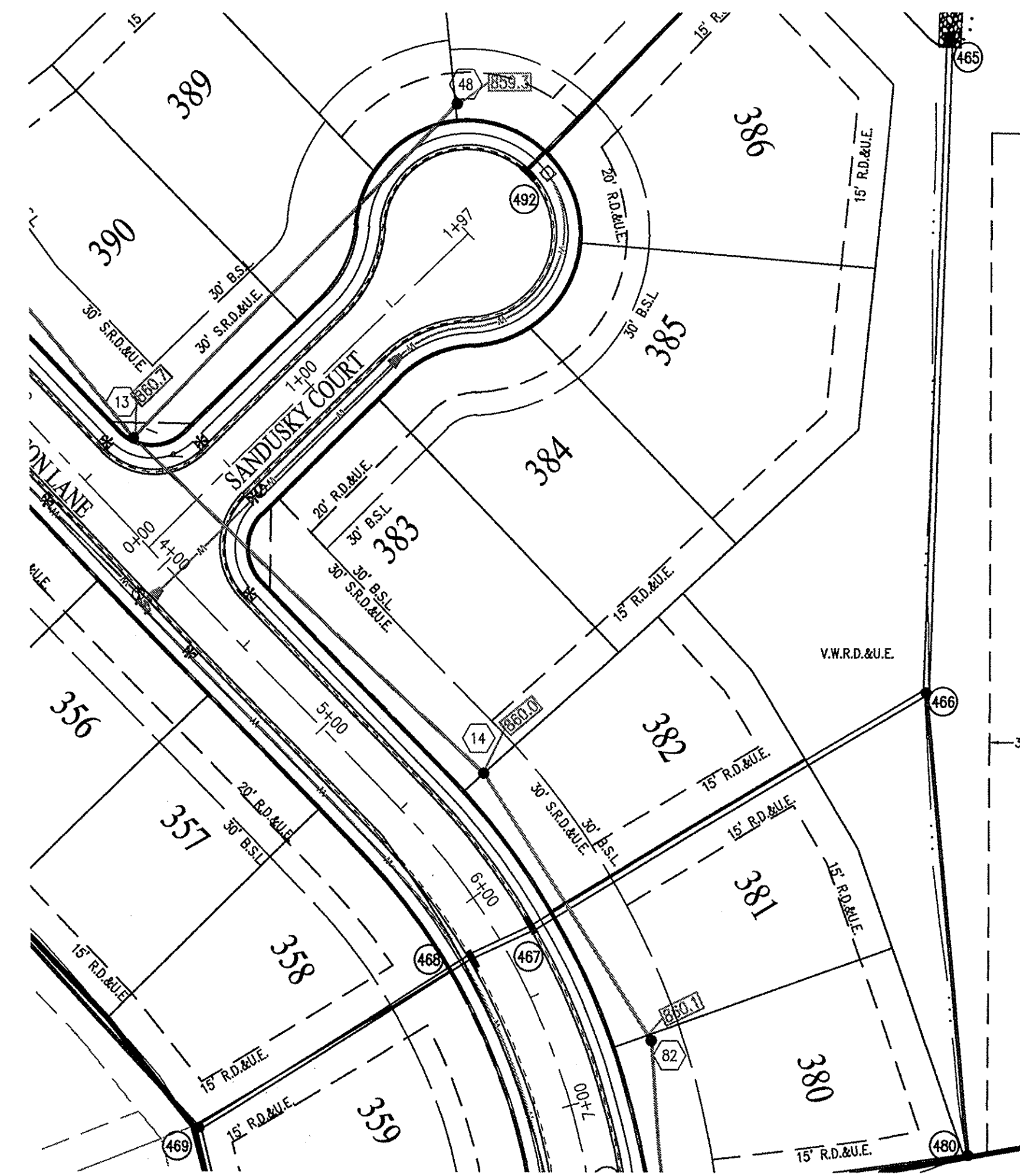
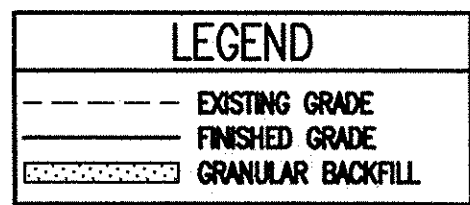
RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 09/18/2015

JOSHUA DAVID WERNER, LS21200020



- ▲ - ASBUILT INFORMATION
- ▼ - BUILT AS PLANNED

NOTE:
 GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
 ENCRONES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

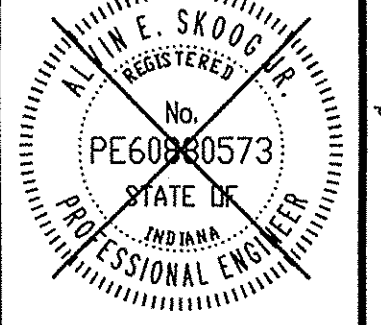


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 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

| | |
|-------------|-------------------|
| PROJECT NO. | W13.0129 |
| DWG. NAME | AB C600 Storm PIP |
| DESIGNED BY | BR |
| DRAWN BY | BR |
| CHECKED BY | JES |
| DATE | 09-12-2014 |

REVISIONS AND ISSUES
 REVISIONS
 DATE
 BY
 COMMENTS

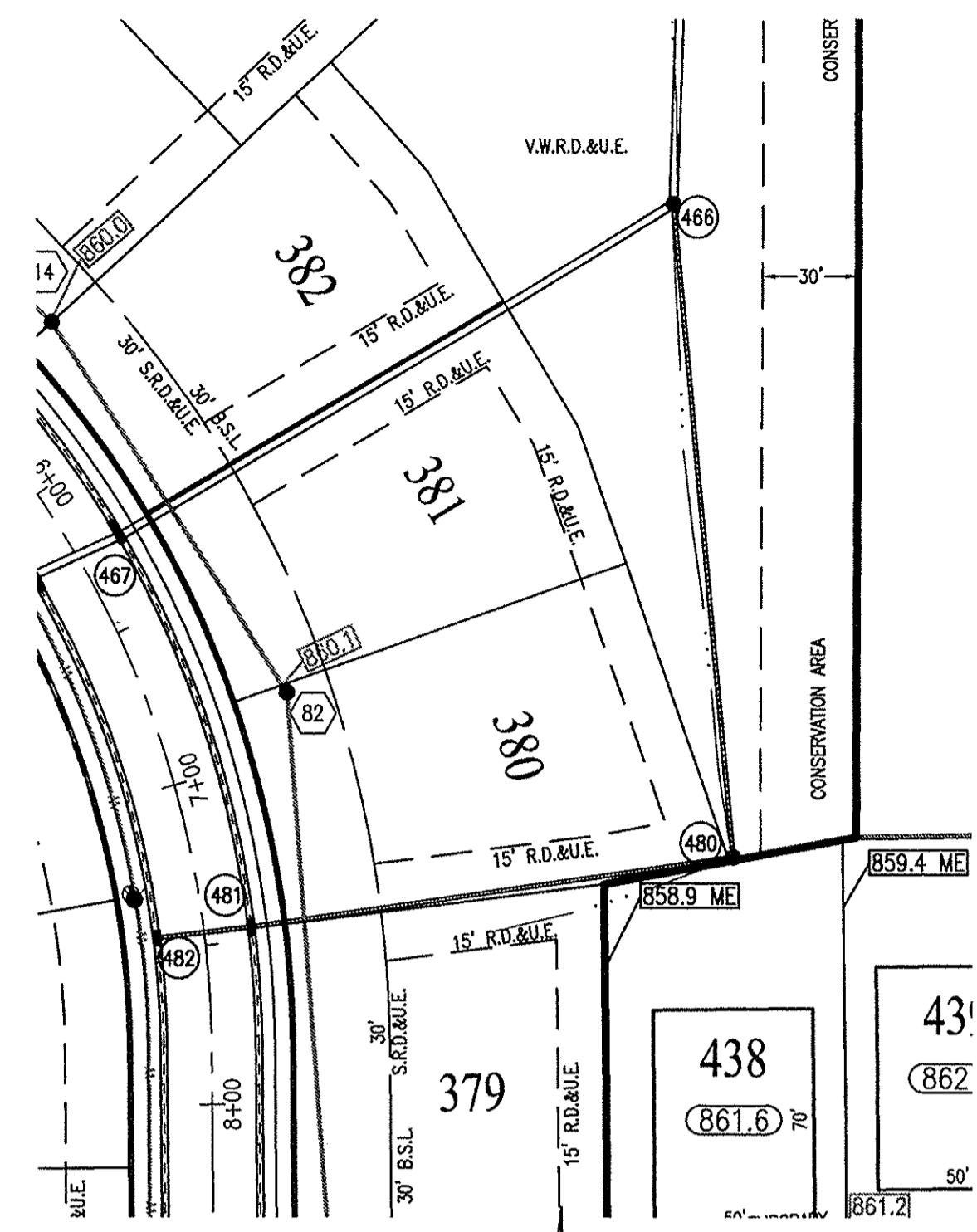
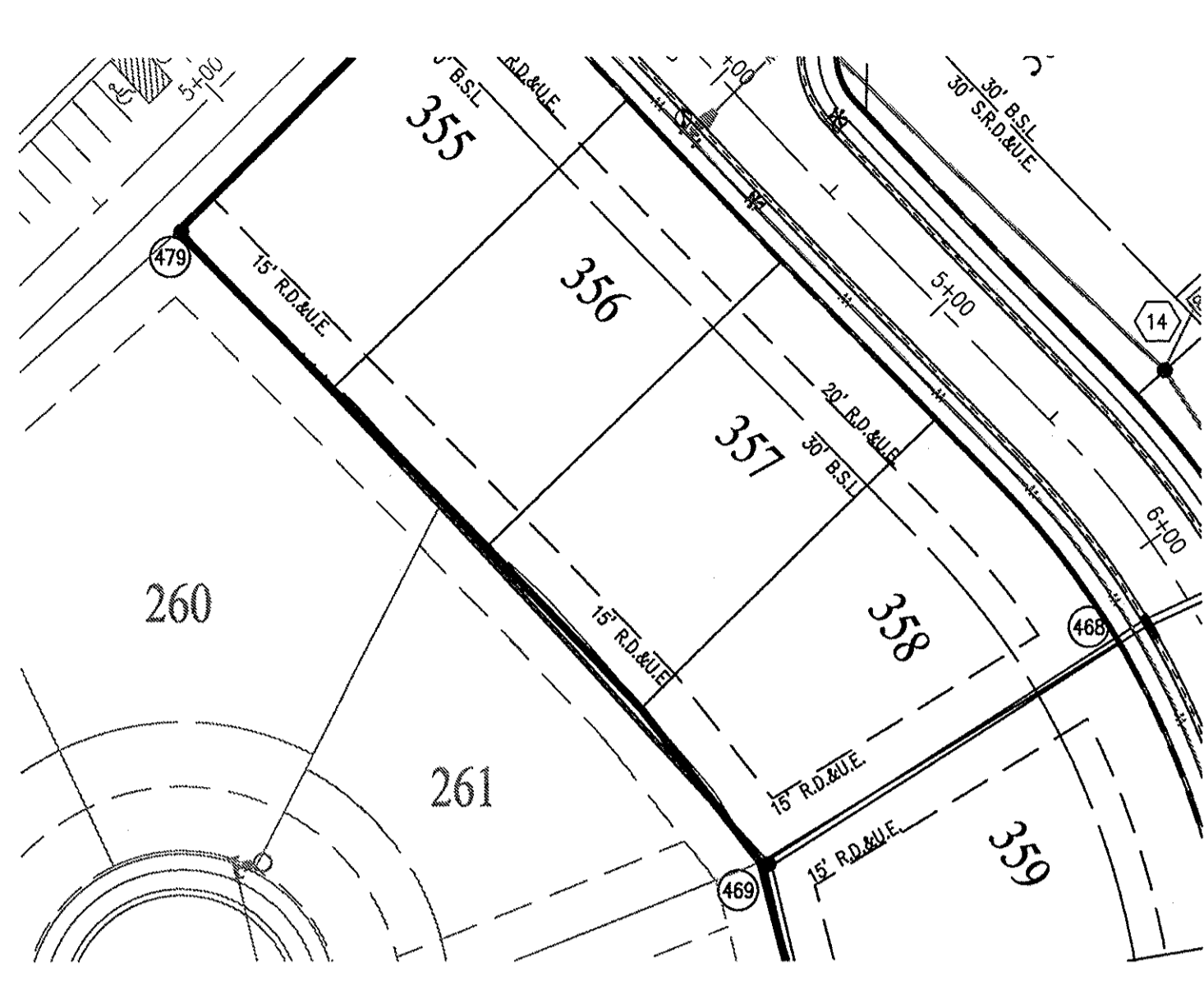
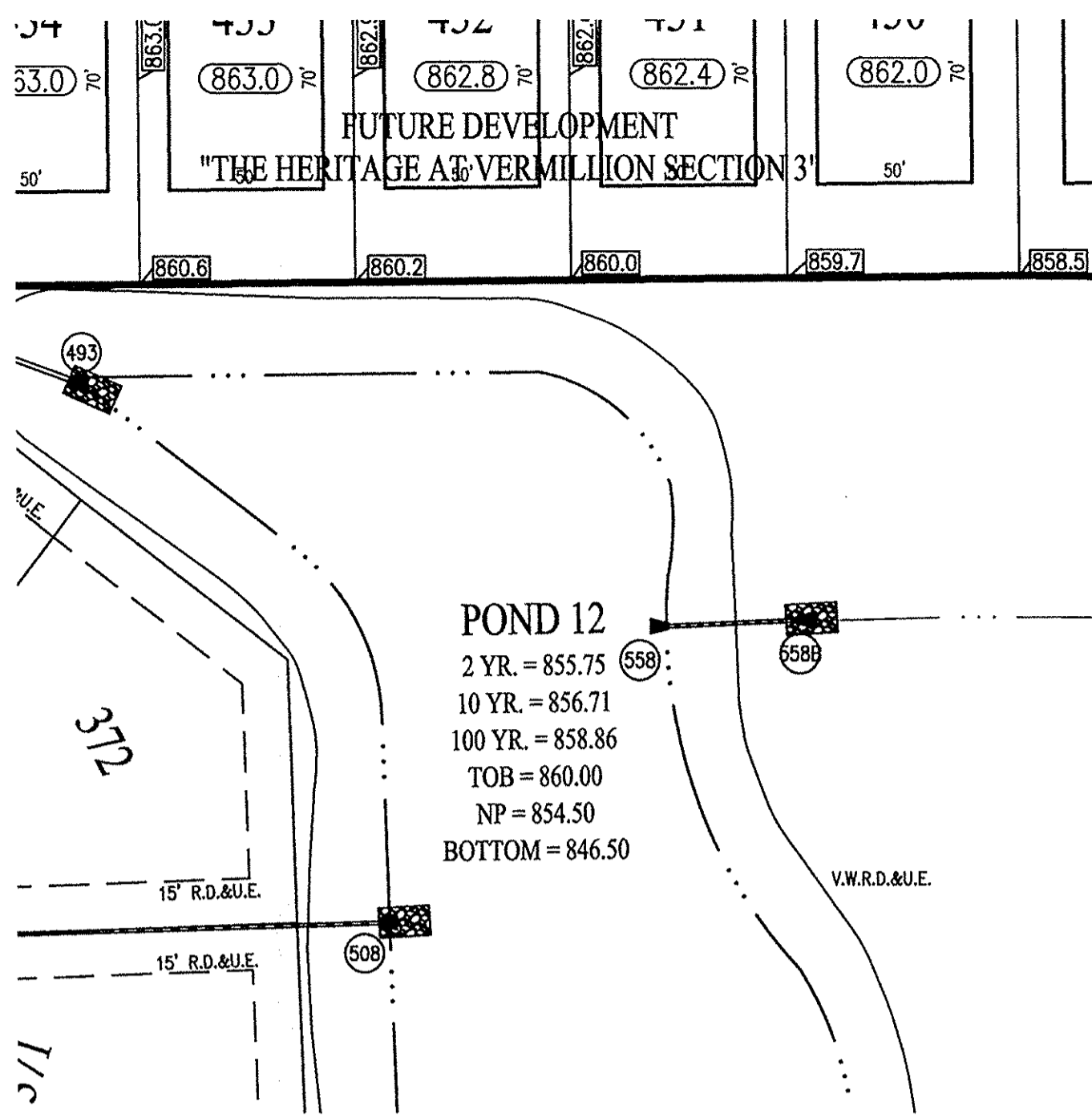


ALVIN E. SKOOG JR., PE 880073

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
 BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
 Part of the 27.85' 1/4 of Section 16, Township 17 North, Range 6 East, Paul Owen Township, Hamilton County, Indiana

SHEET NO.
C601
 PROJECT NO.
 W13.0129

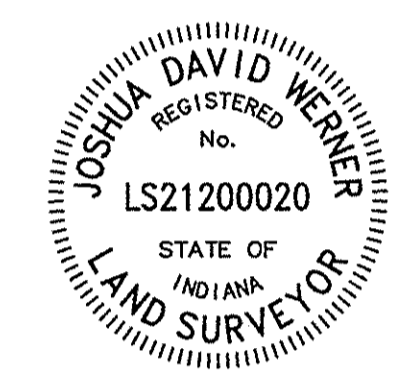
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 DATE: 12/06/2014 11:17:29 AM
 PLOT: 12/06/2014 11:17:29 AM
 PLOTTED BY: hweaver



RECORD DRAWING

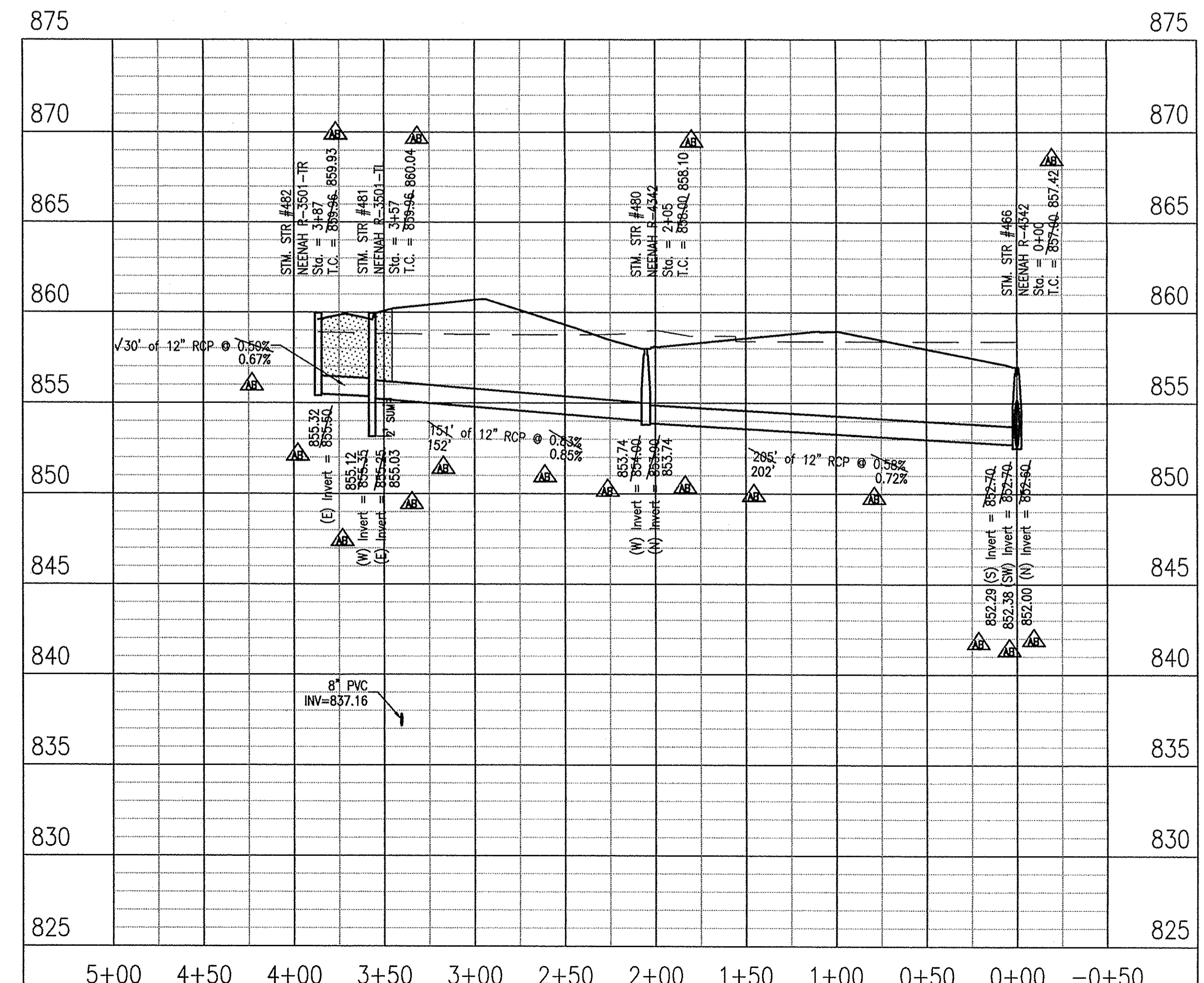
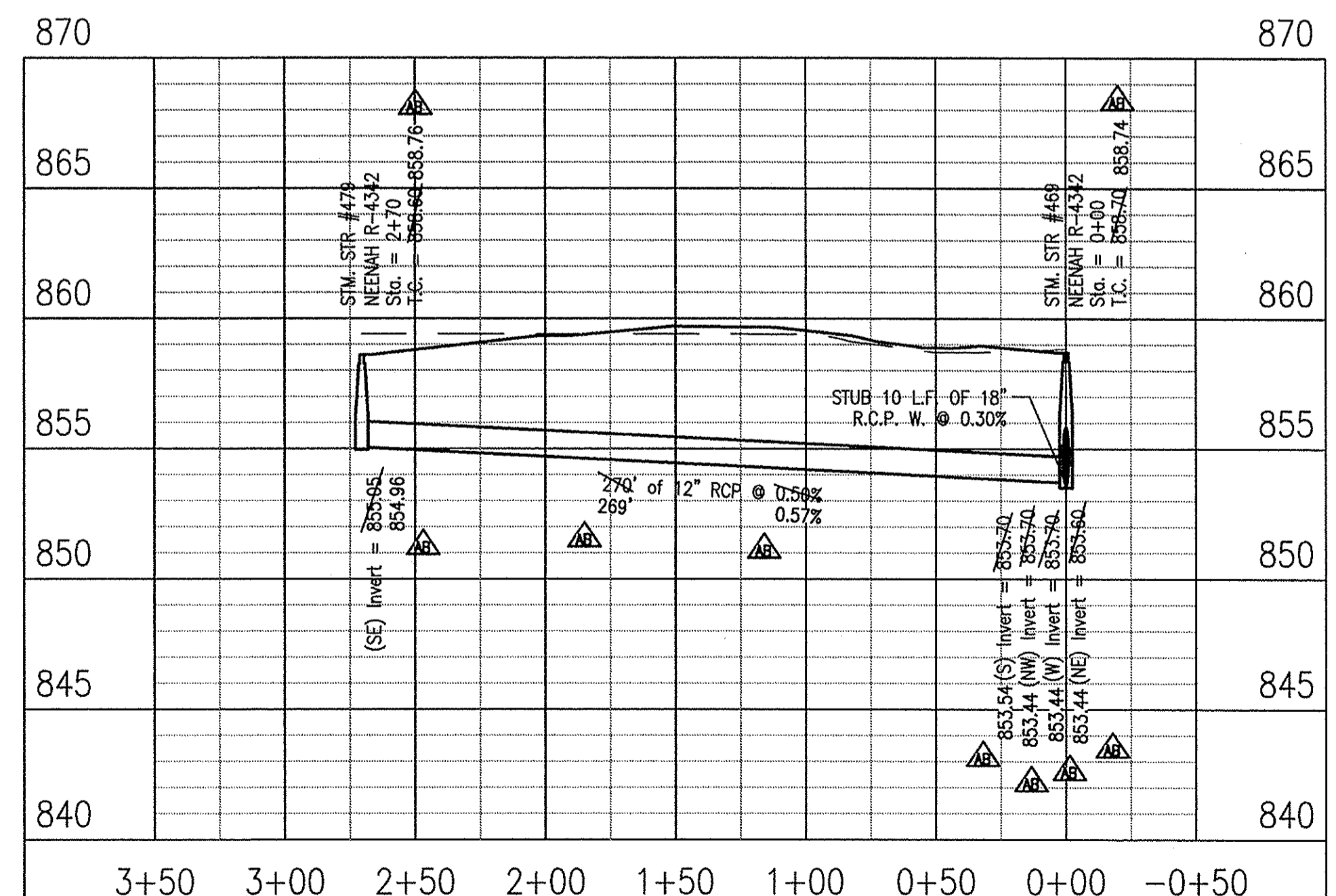
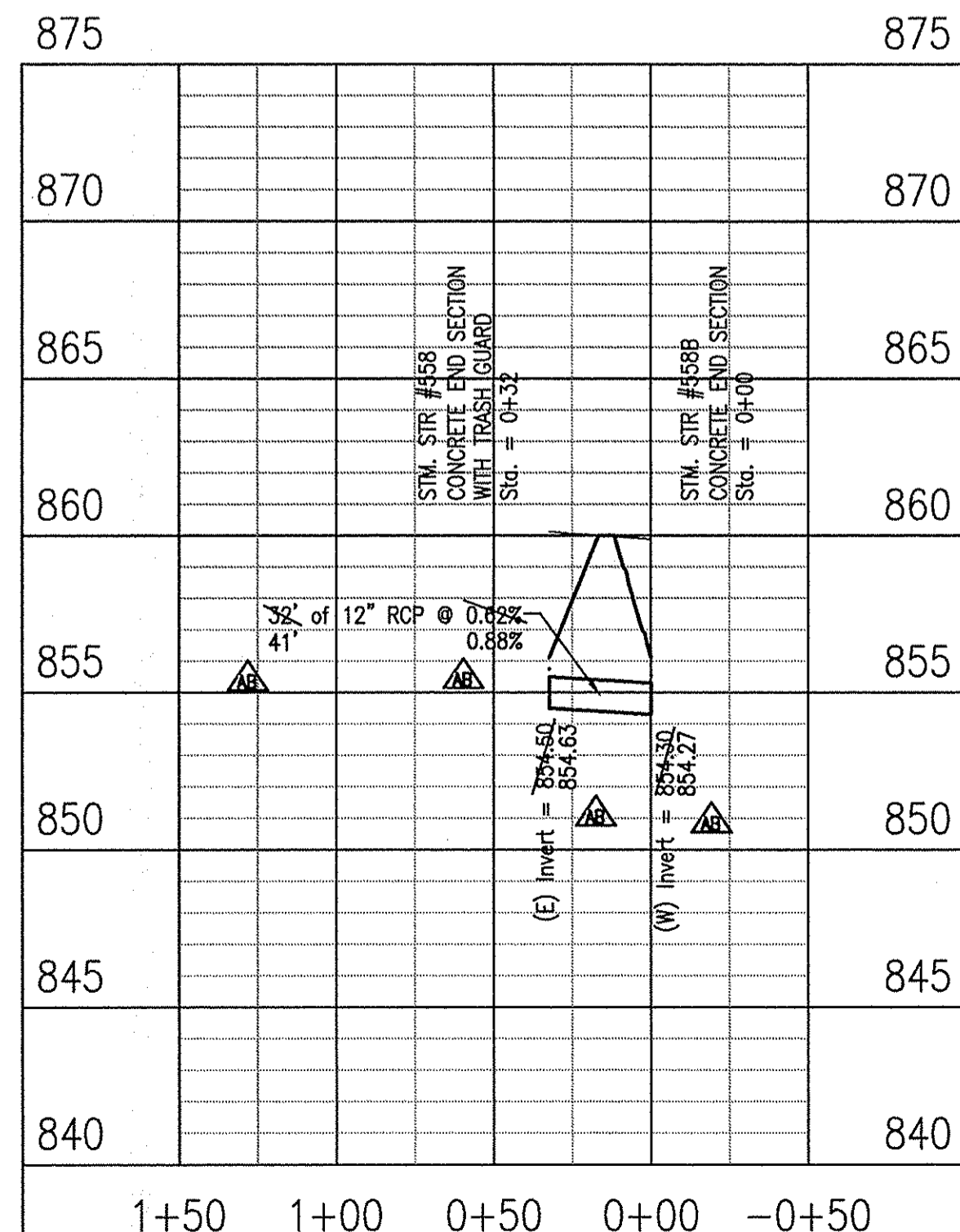
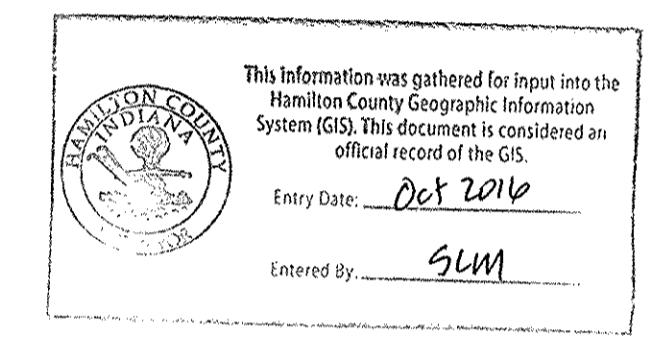
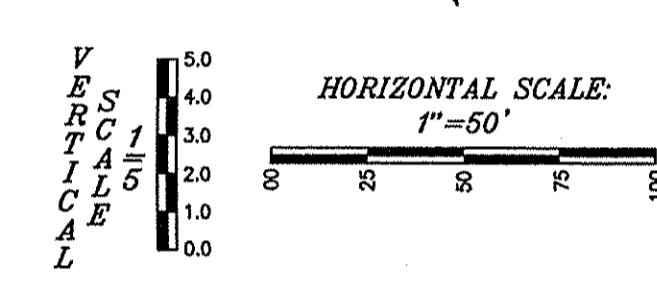
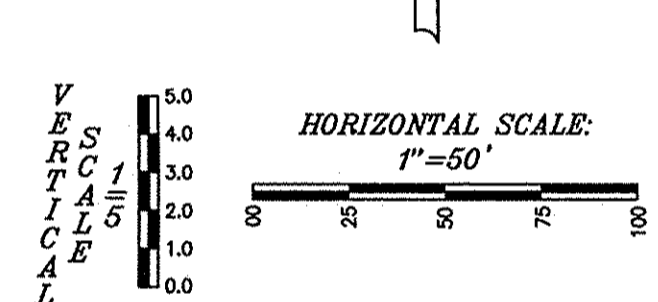
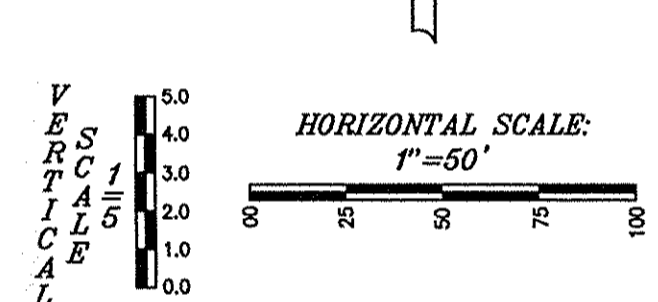
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
09/18/2015

JOSHUA DAVID WERNER, LS21200020



NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
ENCROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

| LEGEND | |
|--------|-------------------|
| | EXISTING GRADE |
| | FINISHED GRADE |
| | GRANULAR BACKFILL |



RECORD DRAWING - OFF SITE GRADING PLANS - 12/06/2014

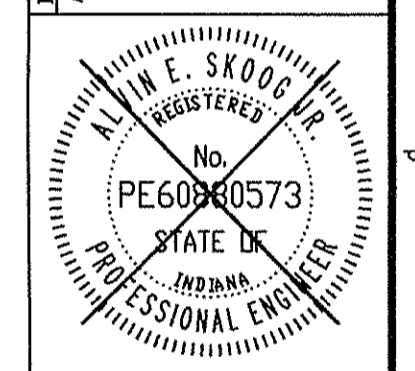
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 PLOTTED BY: Beazer

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

PROJECT NO.: W13.0129
DATE: 09/18/2015
BY: ERL
DESIGNED BY: JAW
DRAWN BY: JAW
CHECKED BY: JES
DATE: 09/12/2014

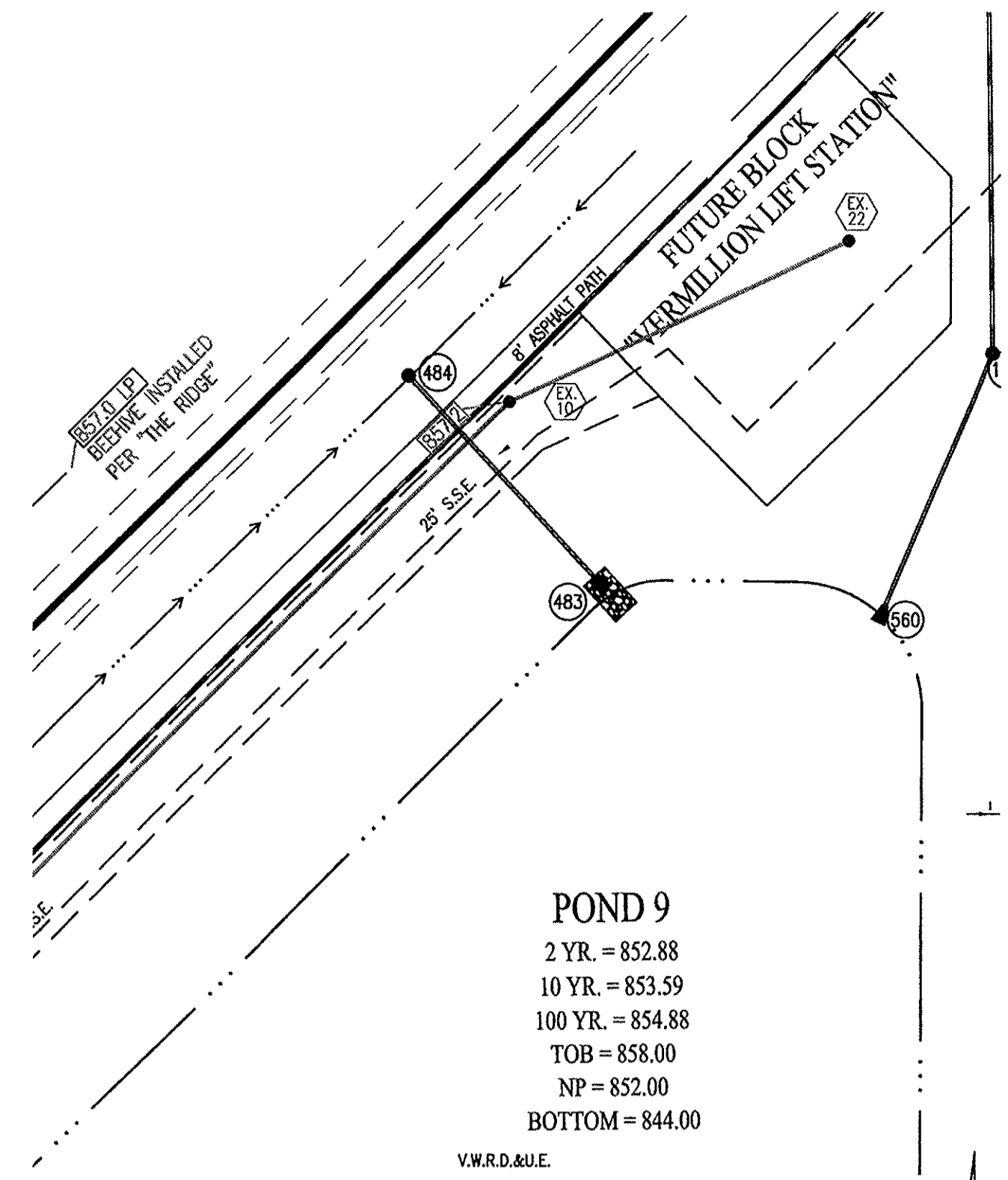
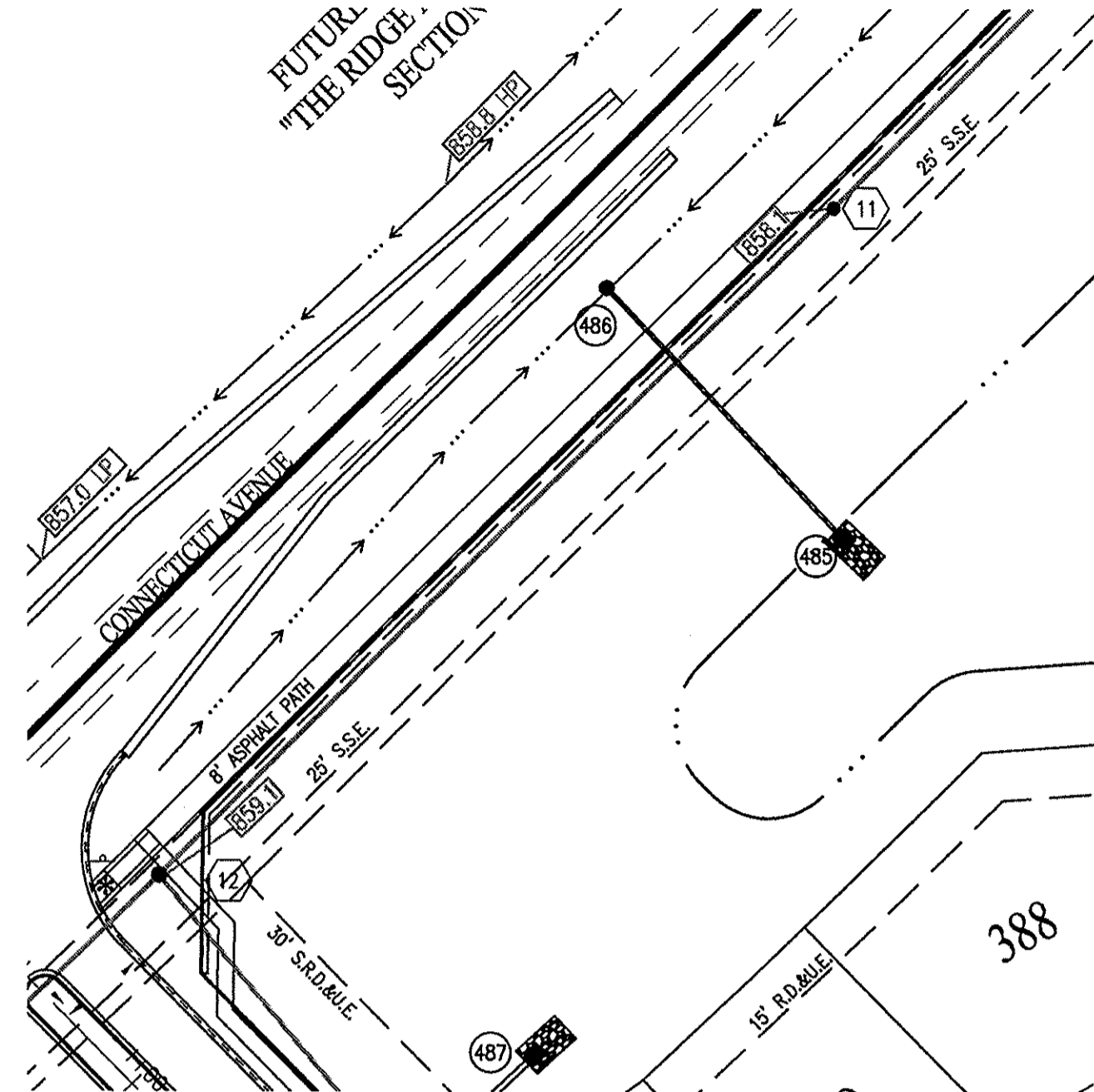
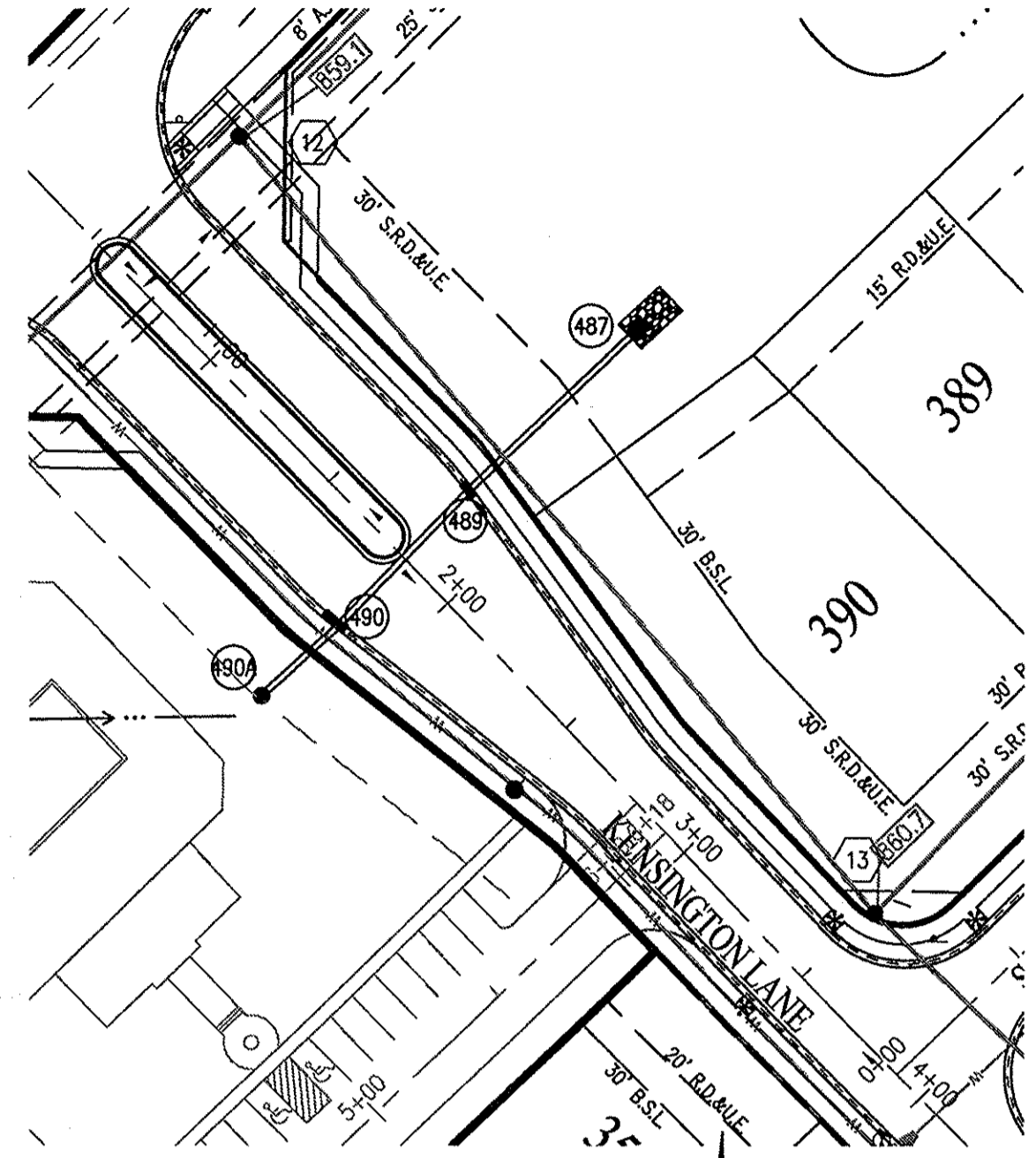
This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: Oct 2016
Entered By: SUM



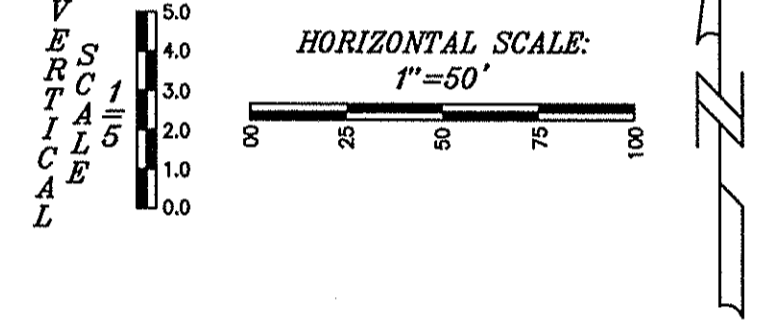
ALVIN E. SKOOG JR., PE 890973

PREPARED FOR:
THE HERITAGE AT VERMILION SECTION ONE
BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
Part of the 24.03 1/4 of Section 15, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO.
C602
PROJECT NO.
W13.0129



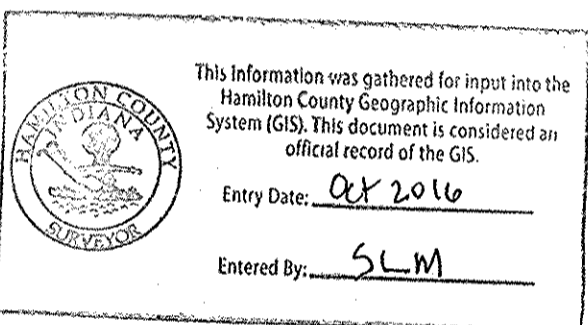
RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 09/18/2015
 JOSHUA DAVID WERNER, LS21200020



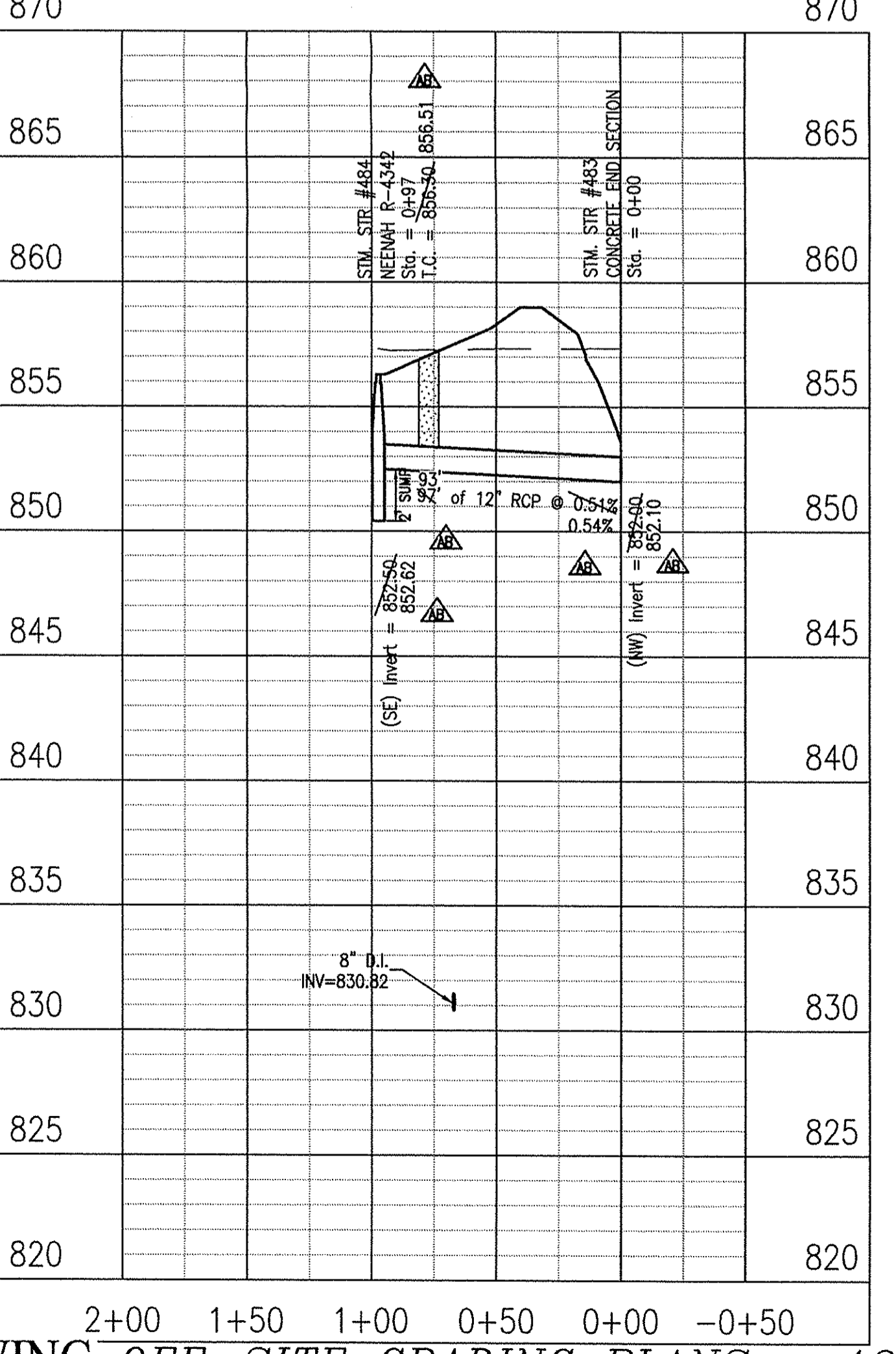
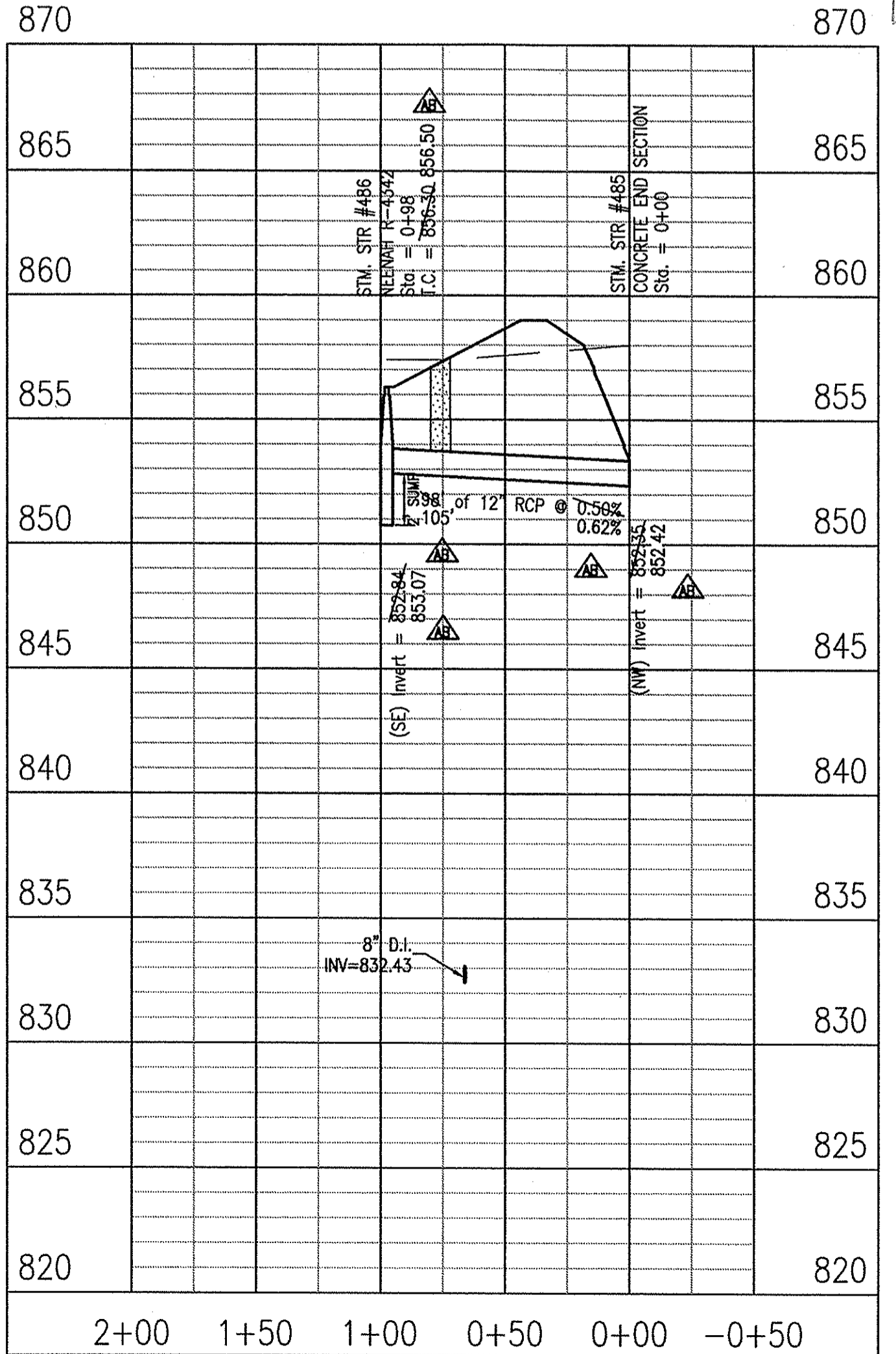
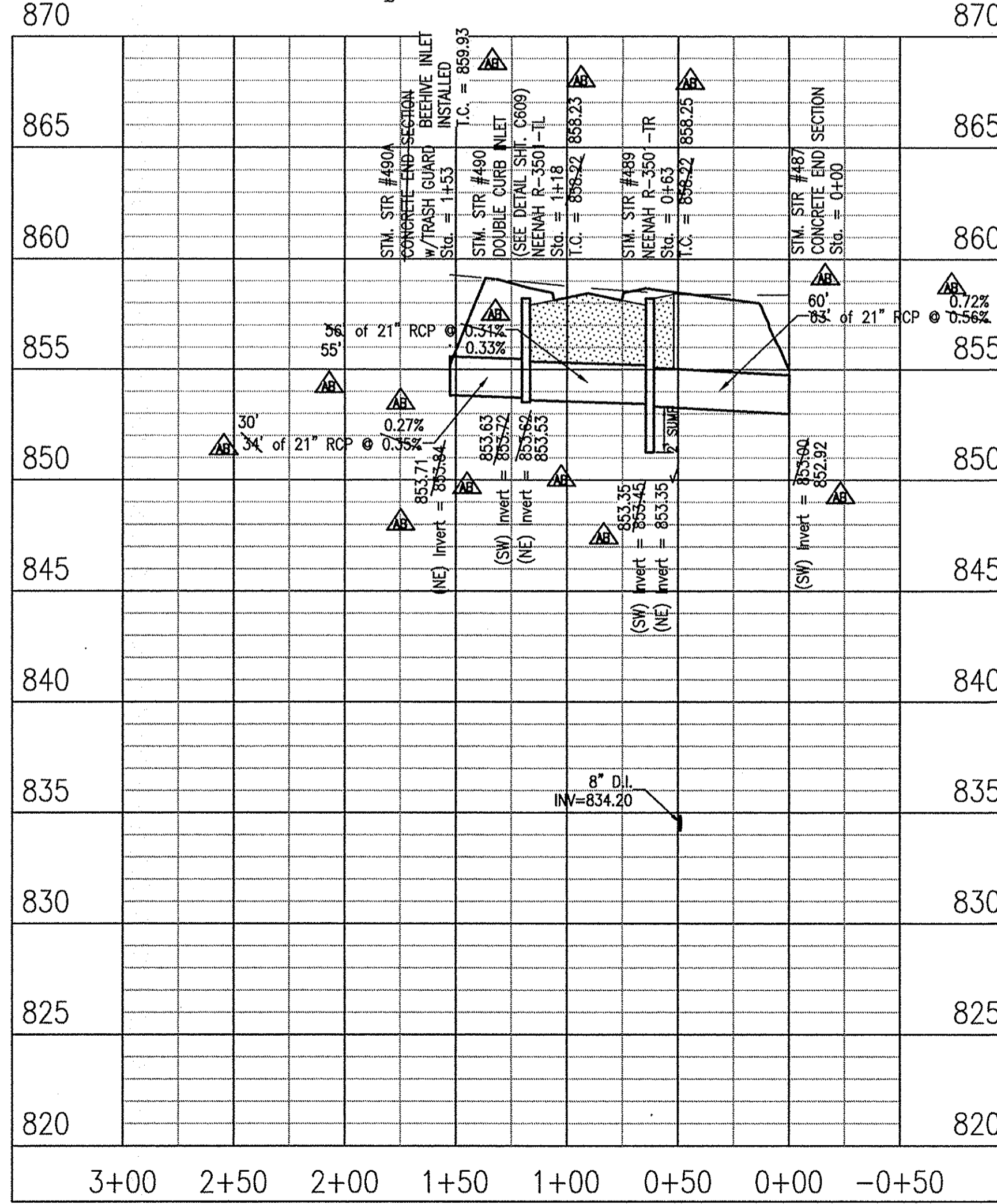
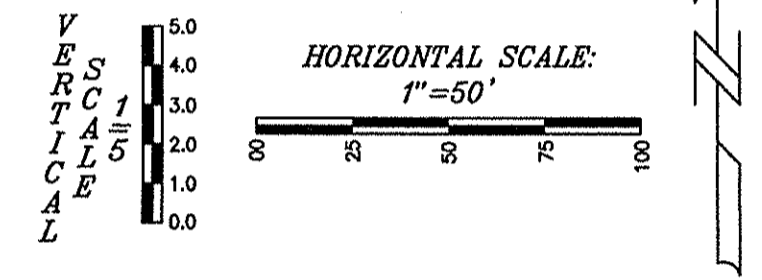
NOTE:
 GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
 ENCRACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

LEGEND

| | |
|-----|-------------------|
| --- | EXISTING GRADE |
| --- | FINISHED GRADE |
| --- | GRANULAR BACKFILL |



POND 9
 2 YR. = 852.88
 10 YR. = 853.59
 100 YR. = 854.88
 TOB = 858.00
 NP = 852.00
 BOTTOM = 844.00
 V.W.R.D.&U.E.



RECORD DRAWING OFF-SITE GRADING PLANS 12/06/2014

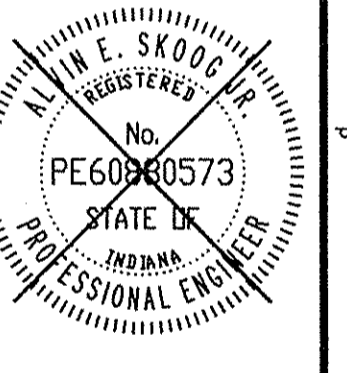
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 weithe.net
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 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

| | |
|--------------|---------------------|
| PROJECT NO.: | W13.0129 |
| DWG NAME: | AS BUILT Storm Plan |
| DESIGNED BY: | DR |
| DRAWN BY: | DR |
| CHECKED BY: | JES |
| DATE: | 09/12/2014 |

DATE: 09/18/2015
 BY: DR

REVISIONS AND ISSUES
 ASSAULT

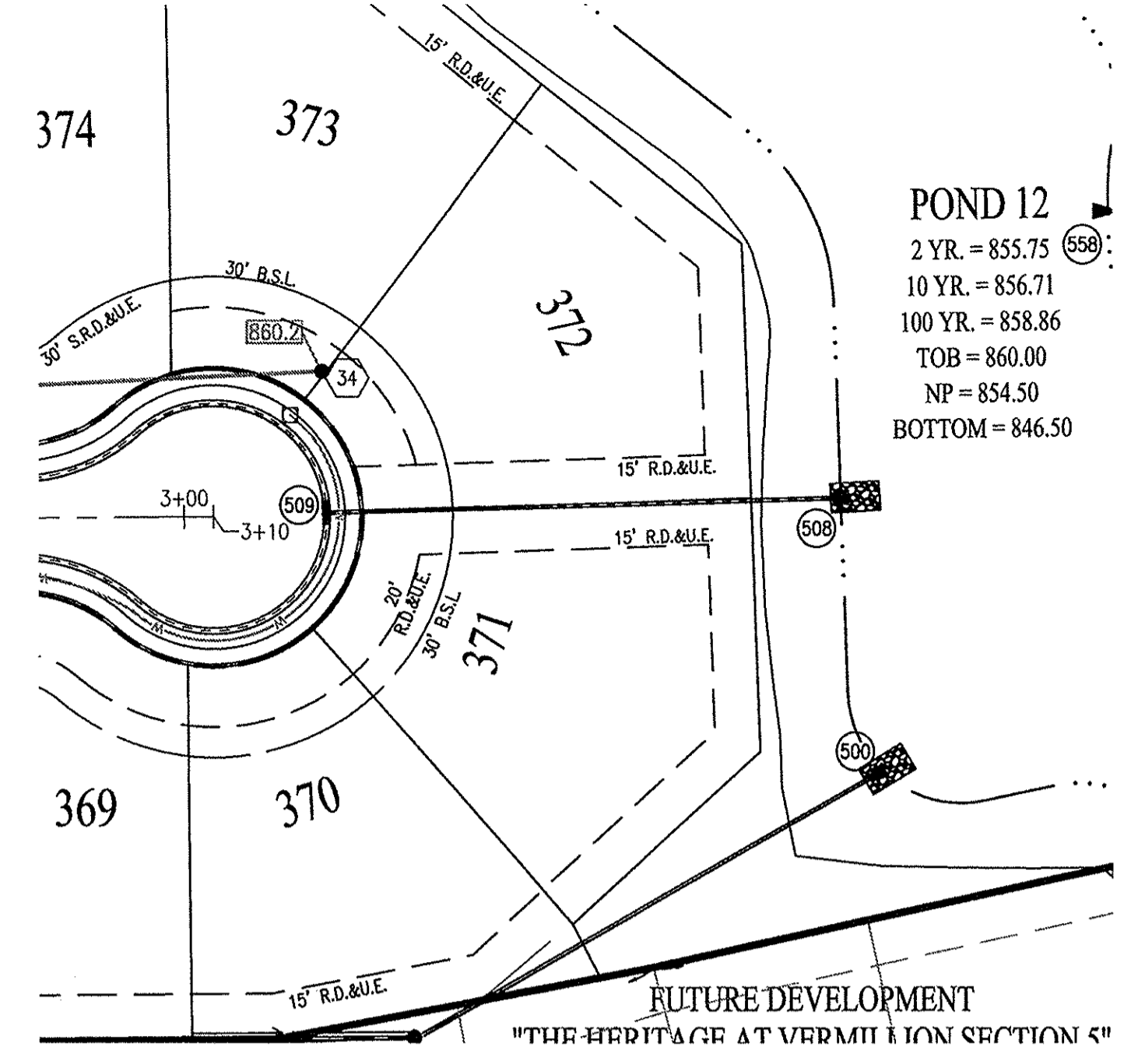
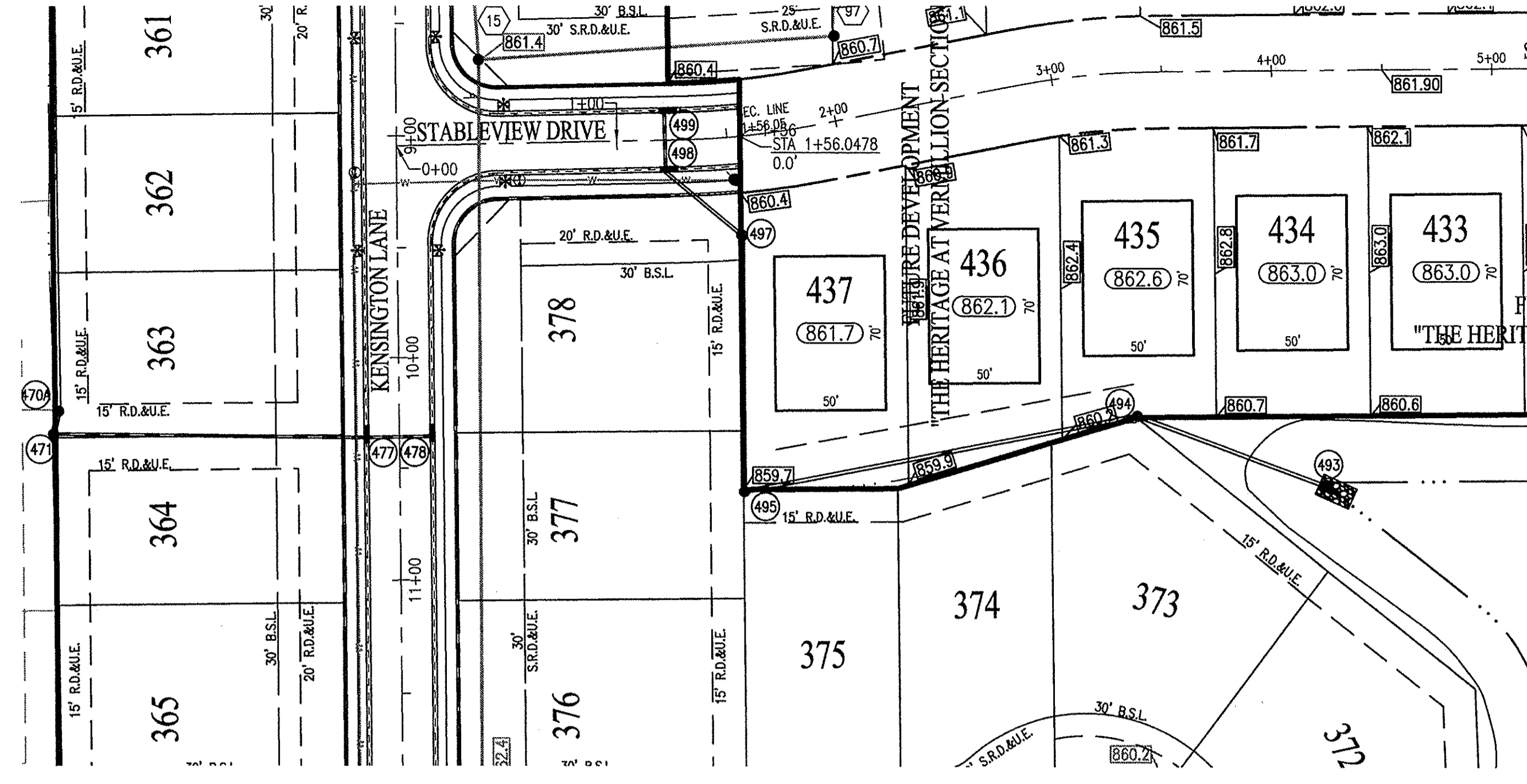
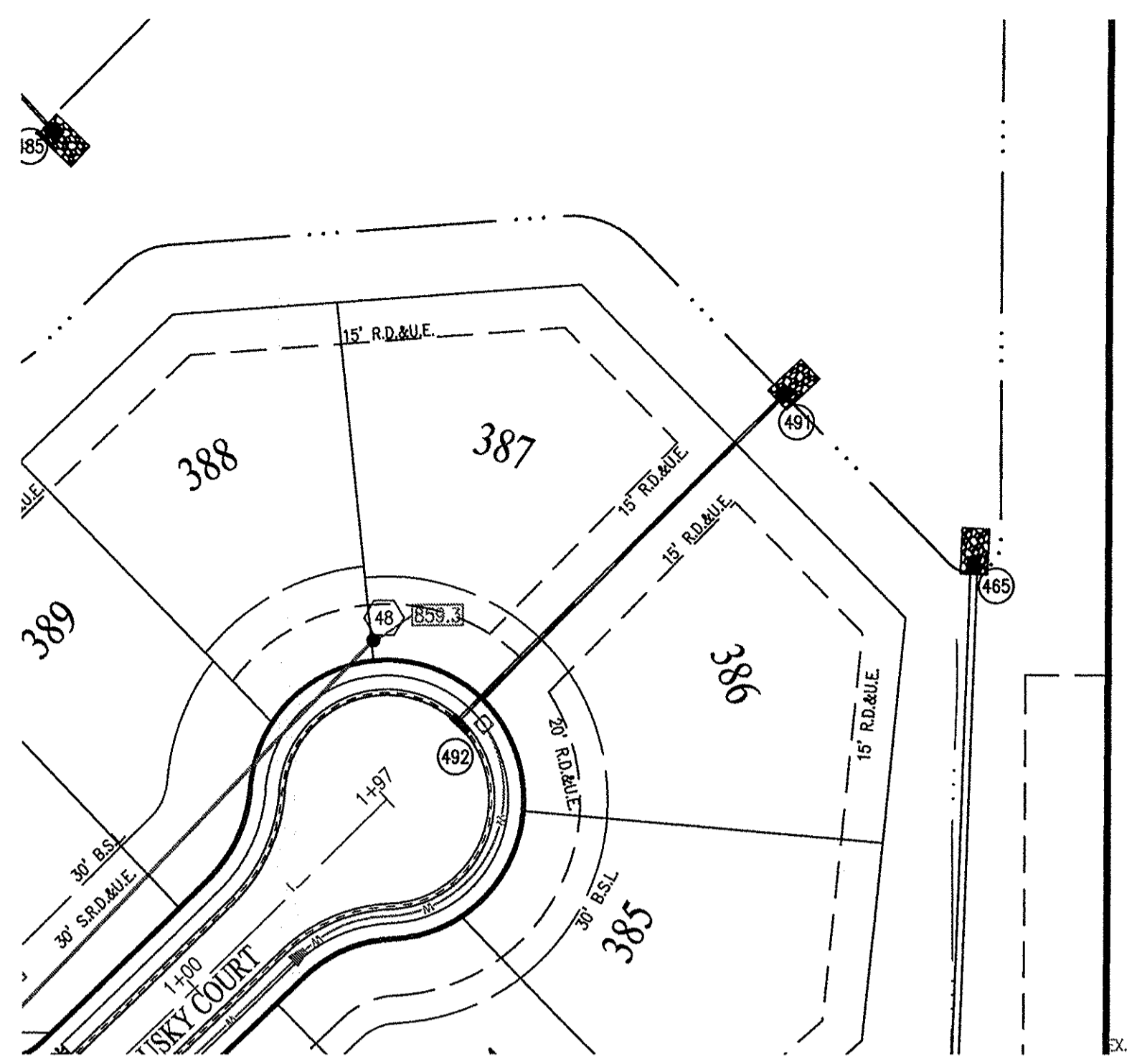


ALVIN E. SKOOG JR., PE 6000573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
 BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
 Part of the 2013 1/4 Section 16, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

SHEET NO. **C603**
 PROJECT NO. **W13.0129**

LOCATION: H:\0129\W130129\Section 17\Engineering\Drawings\Submittals\AS BUILT Storm Plan.dwg
 DATE: 12/06/2014 10:14:15 AM
 PLOTTED BY: JES



RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 09/18/2015

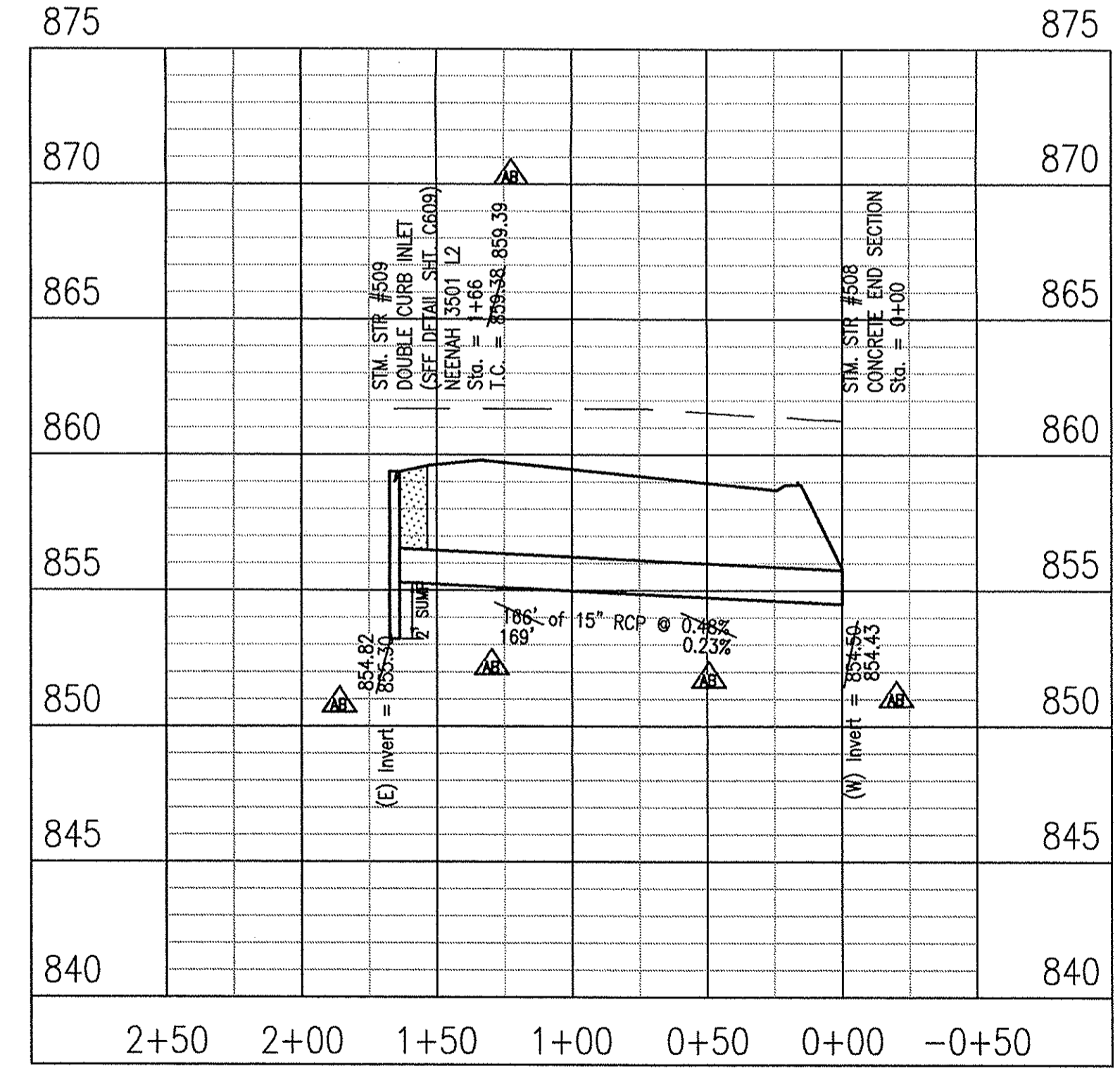
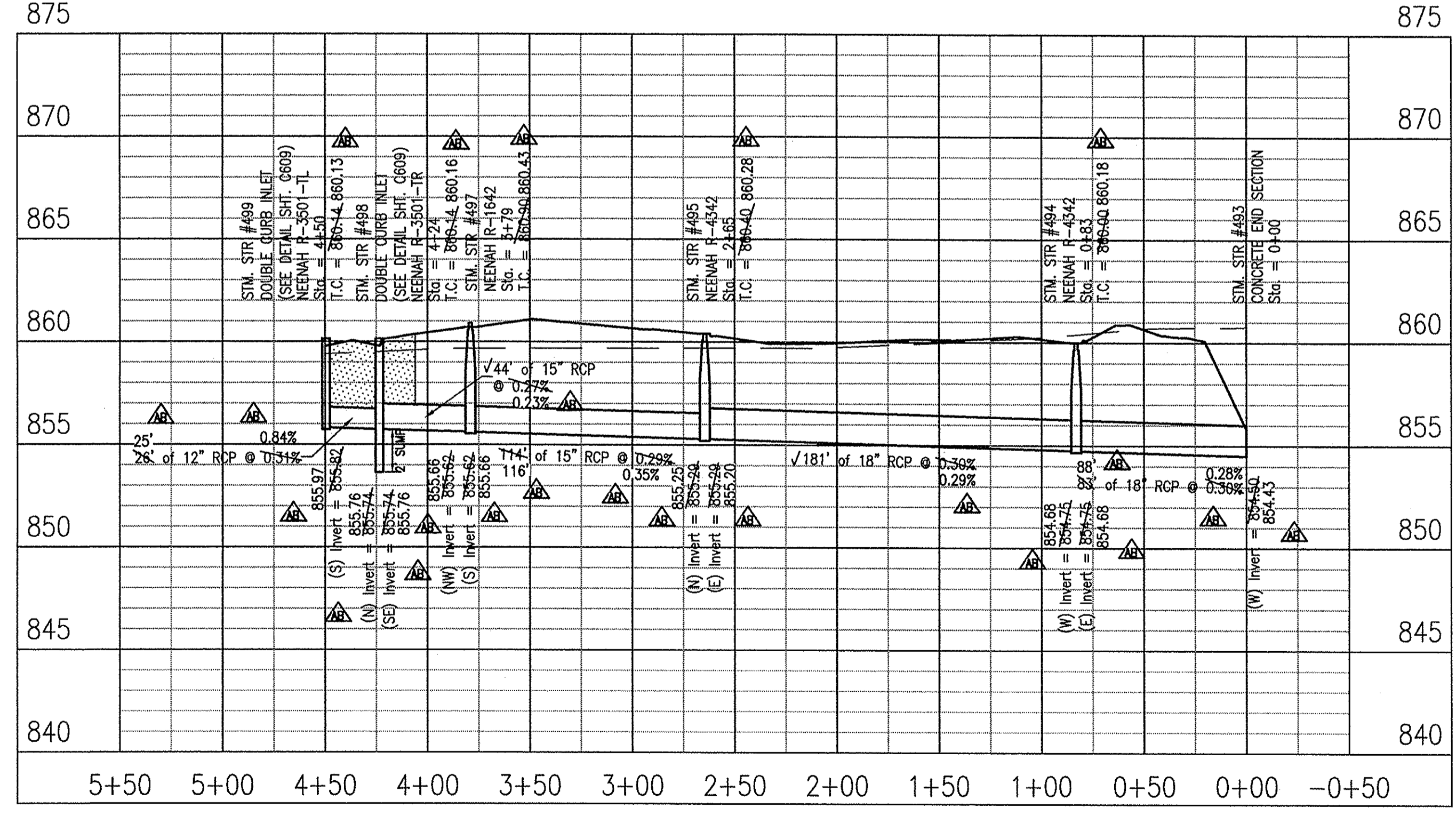
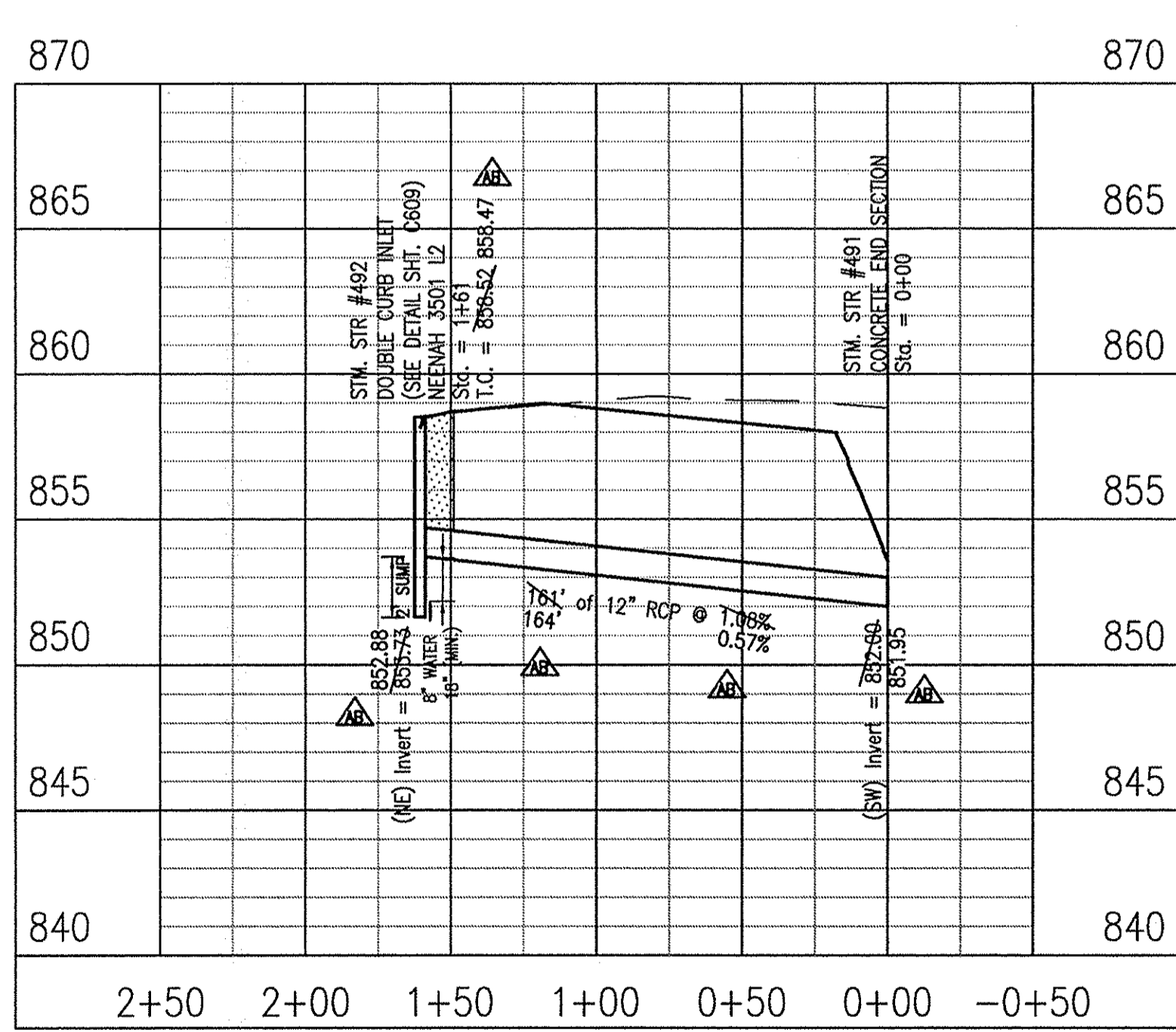
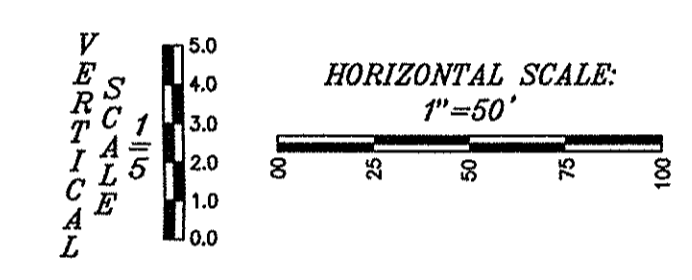
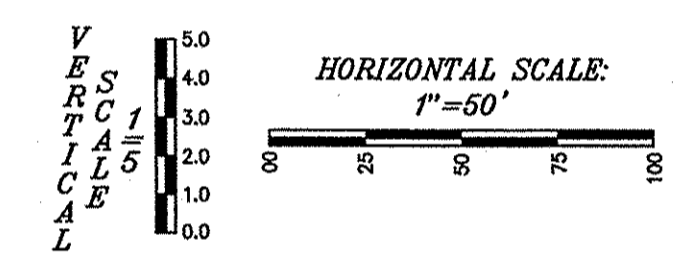
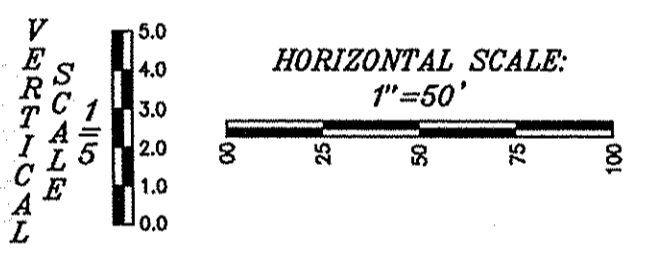
[Signature]
 JOSHUA DAVID WERNER, LS21200020



NOTE:
 GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

LEGEND

| | |
|-----|-------------------|
| --- | EXISTING GRADE |
| --- | FINISHED GRADE |
| --- | GRANULAR BACKFILL |



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: Oct 2016
 Entered By: SLW

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 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S., FOUNDER

WEIHE ENGINEERS
 Land Surveying | Civil Engineering
 Landscape Architecture

PROJECT NO.: 13-25
 DWG NAME: AS 600 Storm PIP
 DESIGNED BY: RME
 DRAWN BY: JES
 CHECKED BY: JES
 DATE: 08.12.2014

DATE: 09/18/2015
 BY: JRL

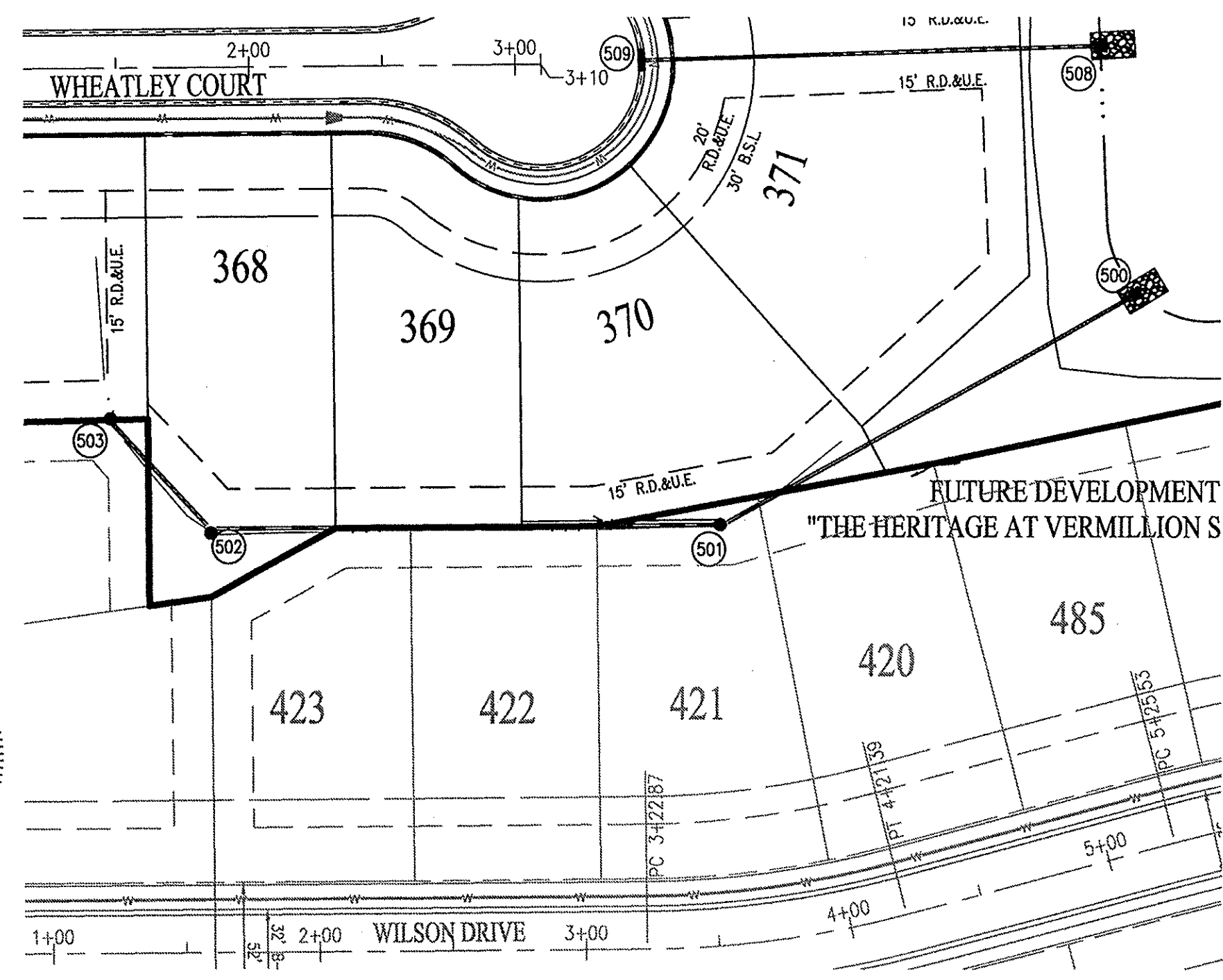
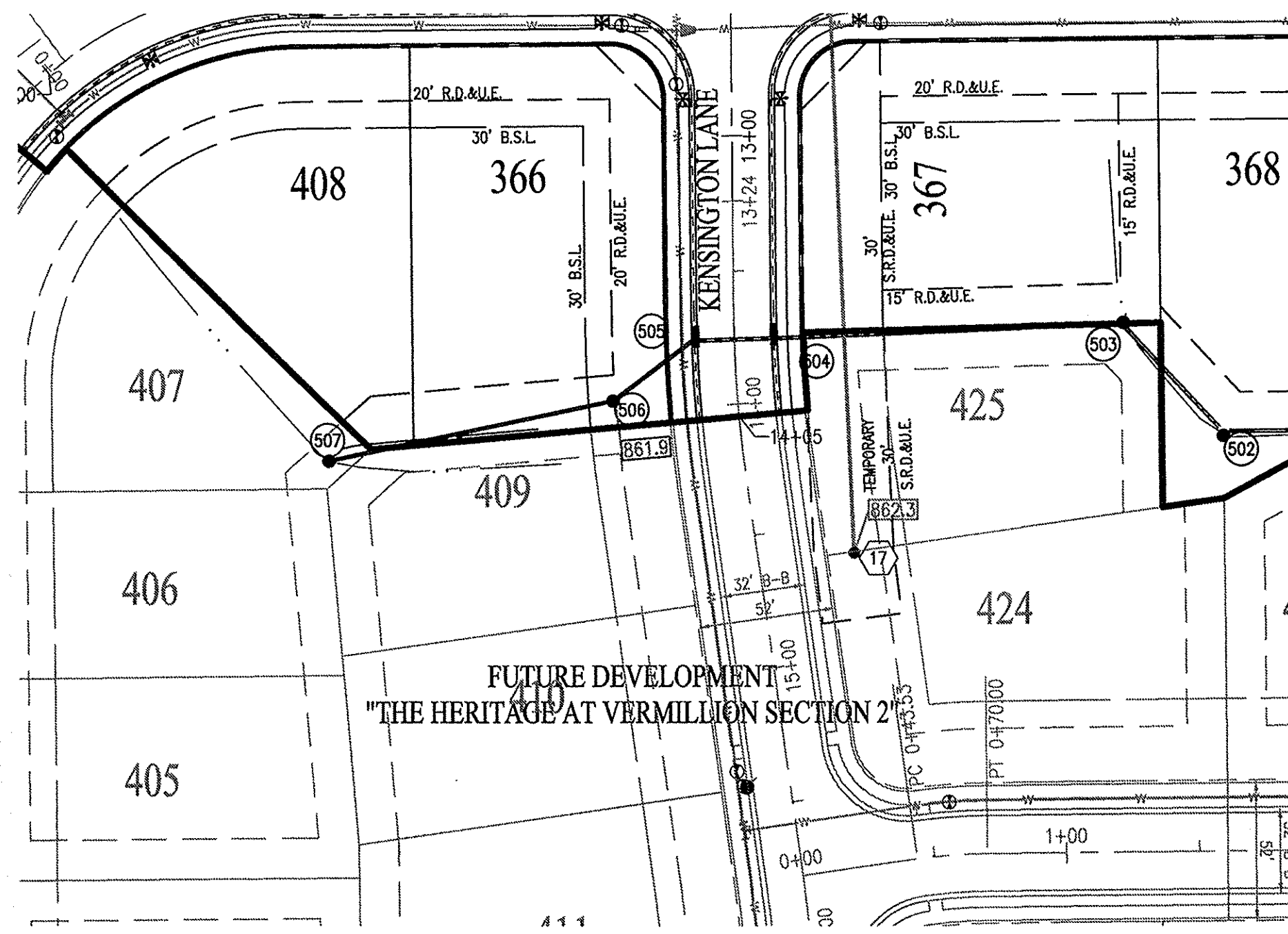
REVISIONS AND ISSUES:
 01/15/2015



ALVIN E. SKOOG JR. PE 6000573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
 BEAZER HOMES INDIANA, LLP
 STORM SEWER PLAN & PROFILE
 Part of the 2016 1/4 of Section 16, Township 17 North, Range 6 East, 3rd One Township, Hamilton County, Indiana

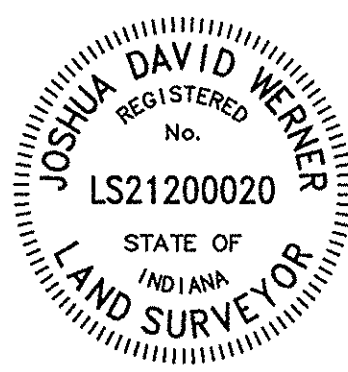
SHEET NO.
C604
 PROJECT NO.
 W13.0129



RECORD DRAWING

STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
09/18/2015

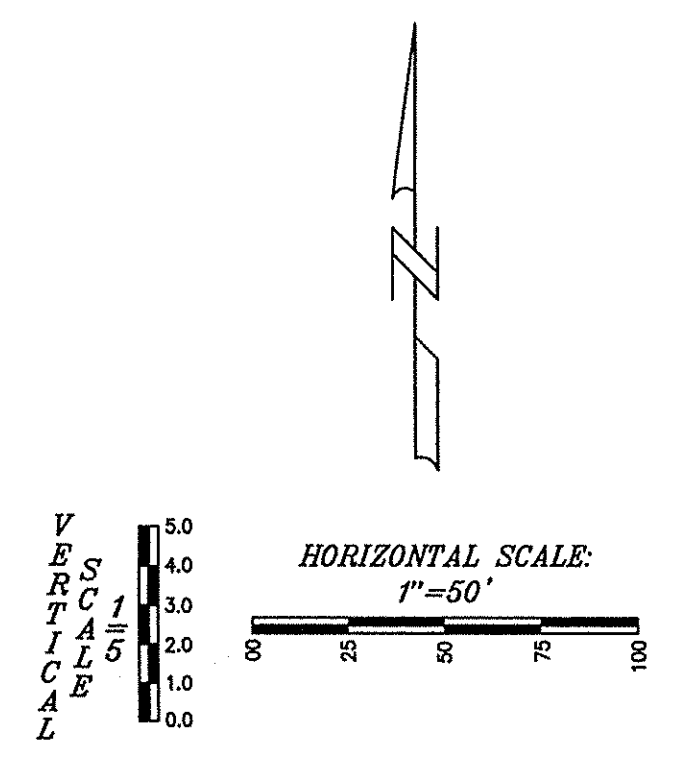
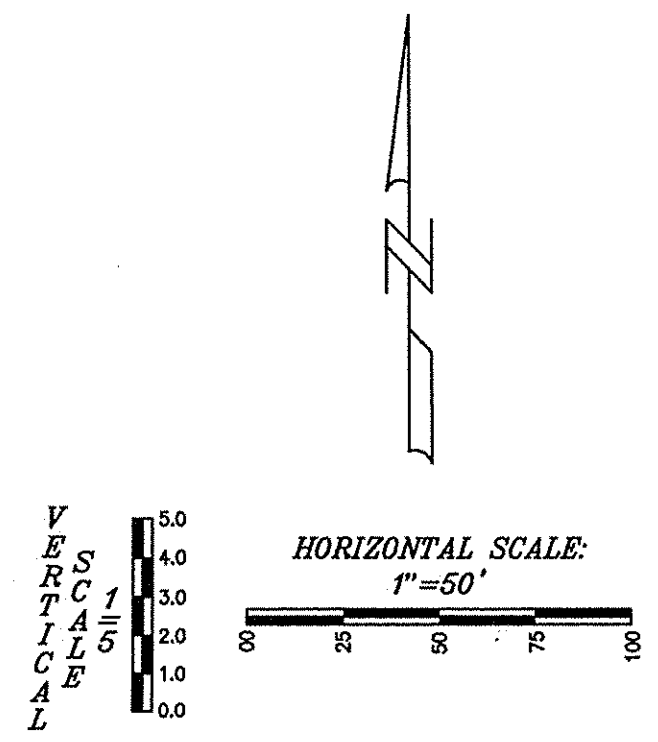
JOSHUA DAVID WERNER, LS21200020



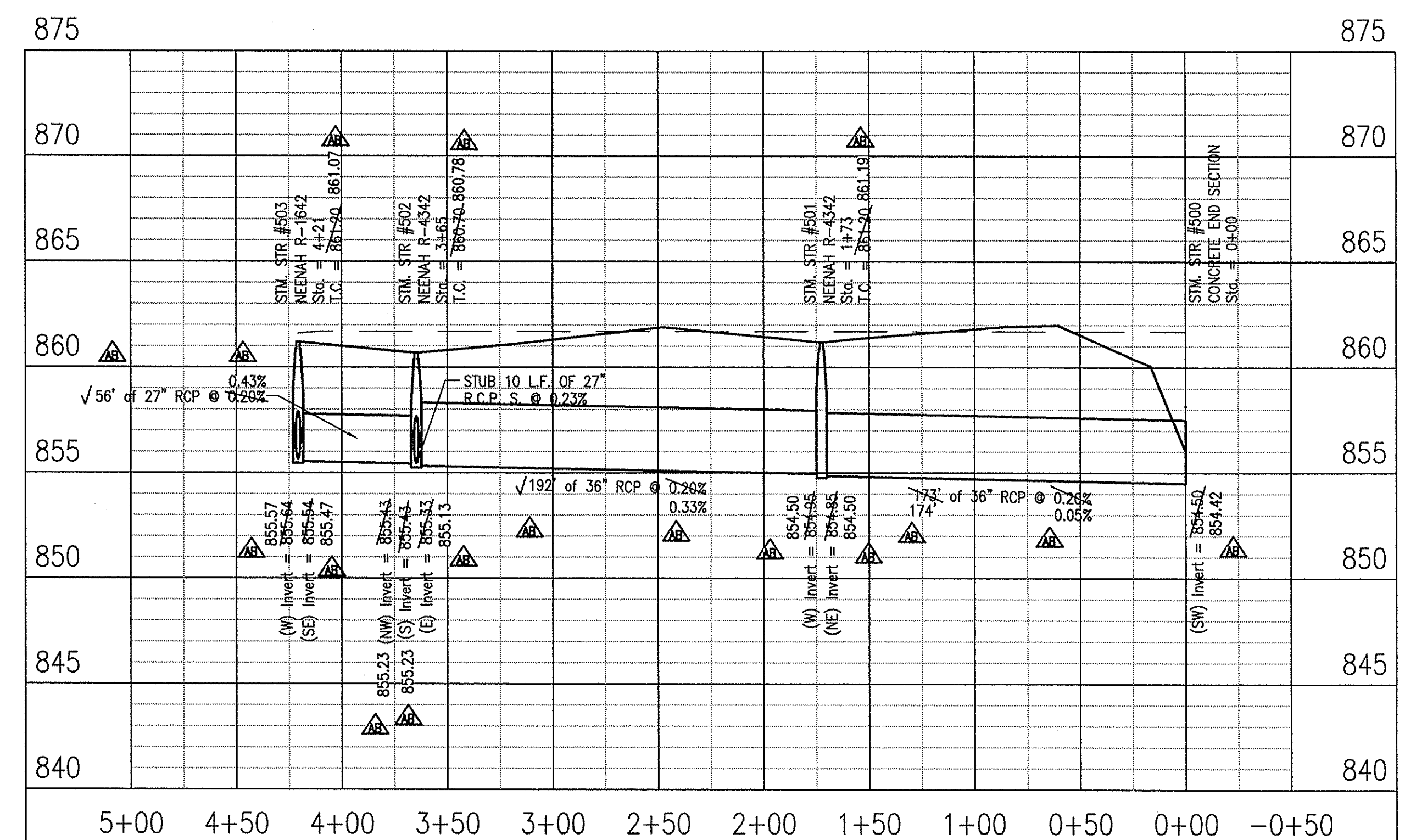
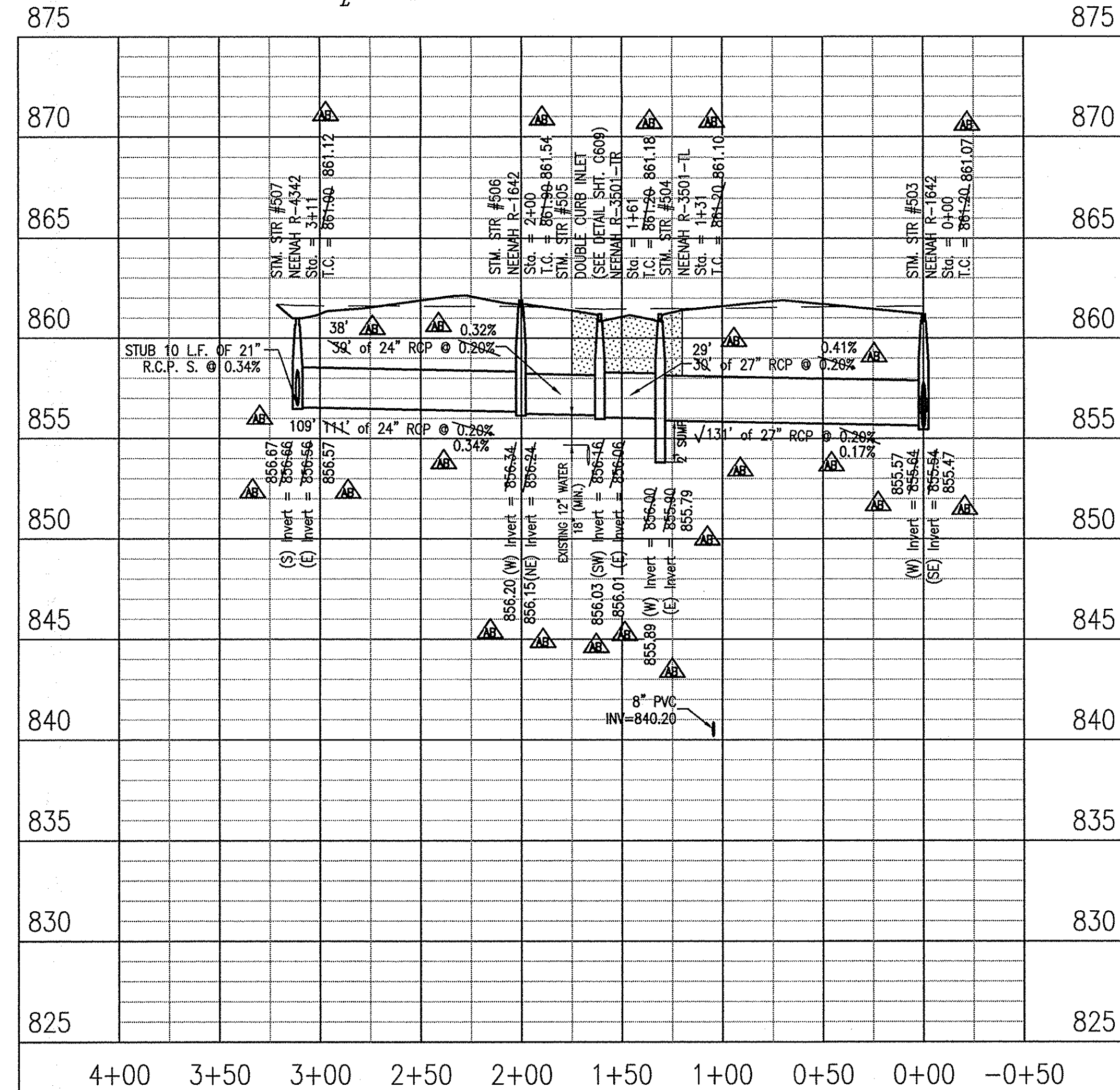
- AS-BUILT INFORMATION
- BUILT AS PLANNED

NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING ENCROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

| LEGEND | |
|--------|-------------------|
| | EXISTING GRADE |
| | FINISHED GRADE |
| | GRANULAR BACKFILL |



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Entry Date: Oct 2016
Entered By: SLM

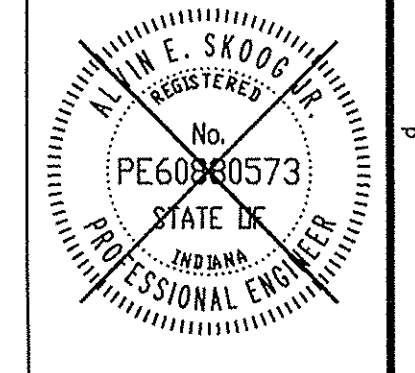


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Indianapolis, Indiana 46280
weihe.net
317 | 846 - 6611
800 | 452 - 6408
317 | 843 - 0546 fax
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

| | |
|--------------|------------|
| PROJECT NO.: | W13.0129 |
| DATE: | 09/18/2015 |
| BY: | JK |
| DESIGNED BY: | JK |
| CHECKED BY: | JK |
| DATE: | 09/18/2015 |

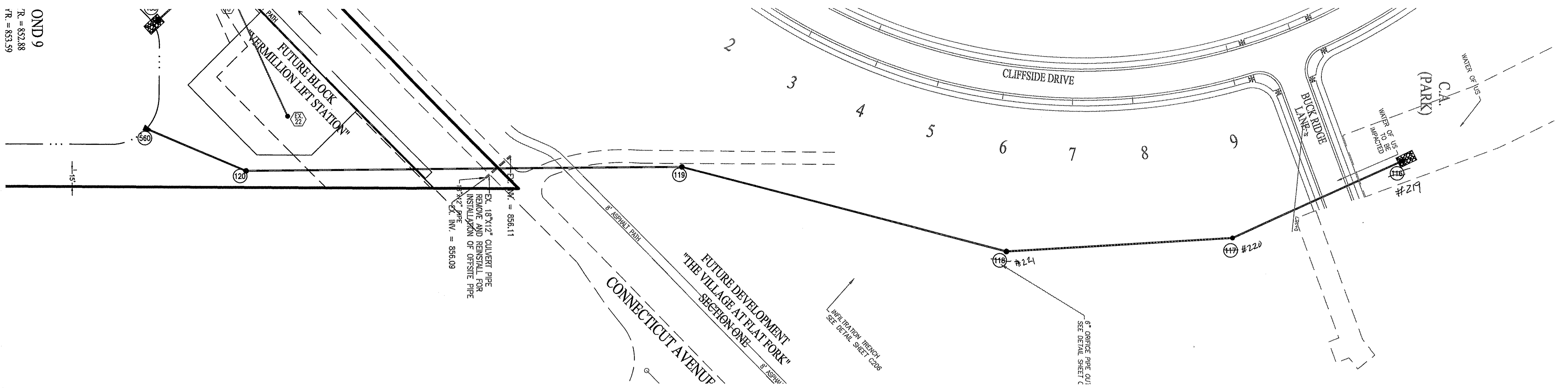
REVISIONS AND ISSUES
ISSUES



ALVIN E. SCHOOG JR., PE 080573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
Part of the 2015 1/4 of Section 16, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO.
C605
PROJECT NO.
W13.0129



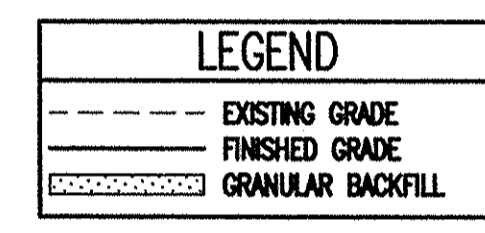
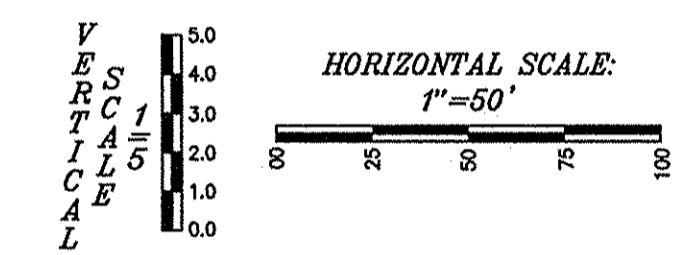
OND 9
R = 832.88
P.R. = 833.59

EX. 18" x 12" CULVERT PIPE
REMOVE AND REINSTALL FOR
INSTALLATION OF OFFSITE PIPE
EX. PIPE INV. = 836.09

FUTURE DEVELOPMENT
"THE VILLAGE AT FLAT FORK"
SECTION ONE

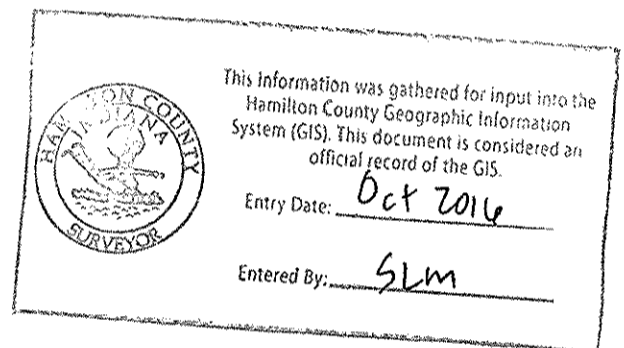
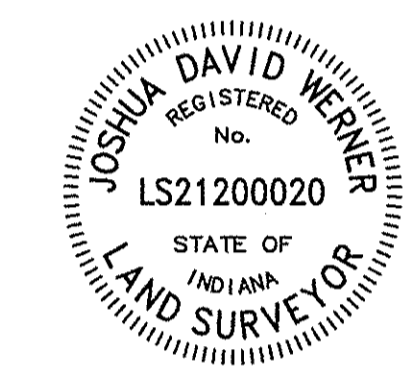
NOTE:
GRANULAR BACKFILL REQUIRED WHERE TRENCH OPENING
ENCROACHES TO WITHIN 5'-0" OF SIDEWALK OR PAVEMENT.

NOTE:
PLEASE NOTE THE PROPOSED SURFACE NORTH OF
CONNECTICUT IS PER THE RIDGE AT FLAT FORK SECTION
ONE AND THE VILLAGE AT FLAT FORK SECTION ONE BY
OTHERS. THE EXISTING SURFACE SHOWN IS THE EXISTING
SURFACE PRIOR TO ANY LAND DISTURBANCE.



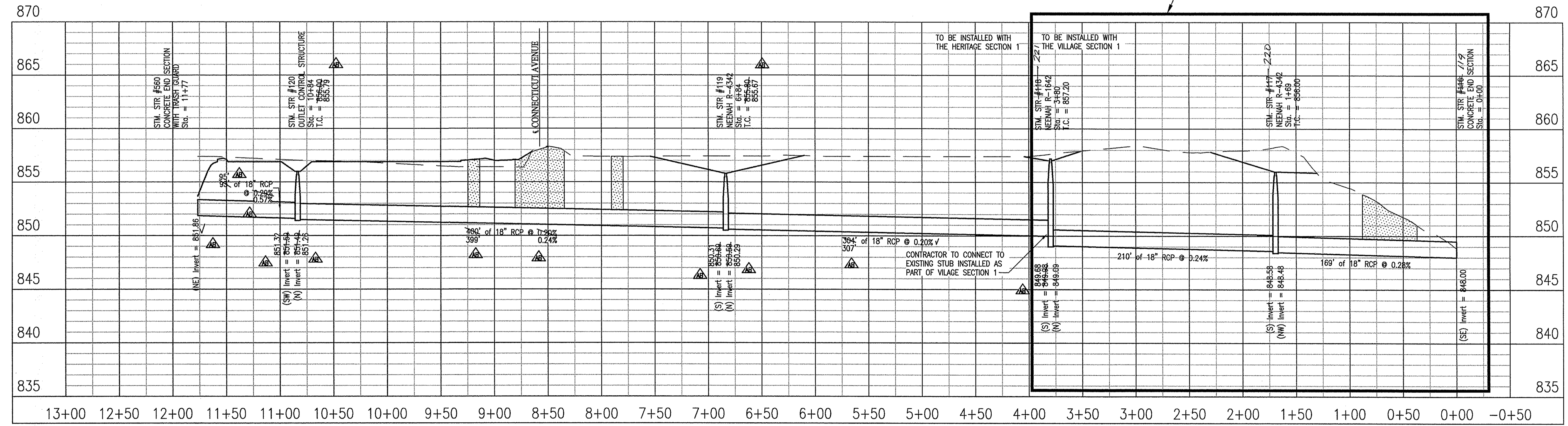
RECORD DRAWING
STORM SEWER AS-BUILTS
STORM SEWER STRUCTURES ONLY
09/18/2015

JOSHUA DAVID WERNER, LS21200020



- ▲ - ASBUILT INFORMATION
- ✓ - BUILT AS PLANNED

NOTE:
221-219
STORM STRUCTURE'S 116-118 TO BE INSTALLED
WITH THE VILLAGE AT FLATFORK SECTION ONE.



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 DATE: 12/06/2014
 PLOTTED BY: kaurabh

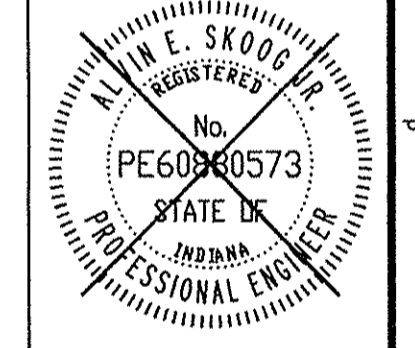
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WEIHE ENGINEERS
Land Surveying | Civil Engineering
Landscape Architecture

| | |
|--------------|--------------------|
| PROJECT NO.: | W13.0129 |
| DWG NAME: | AB Conn Storm Prof |
| DESIGNED BY: | JDW |
| DRAWN BY: | JDW |
| CHECKED BY: | JES |
| DATE: | 09/18/2014 |

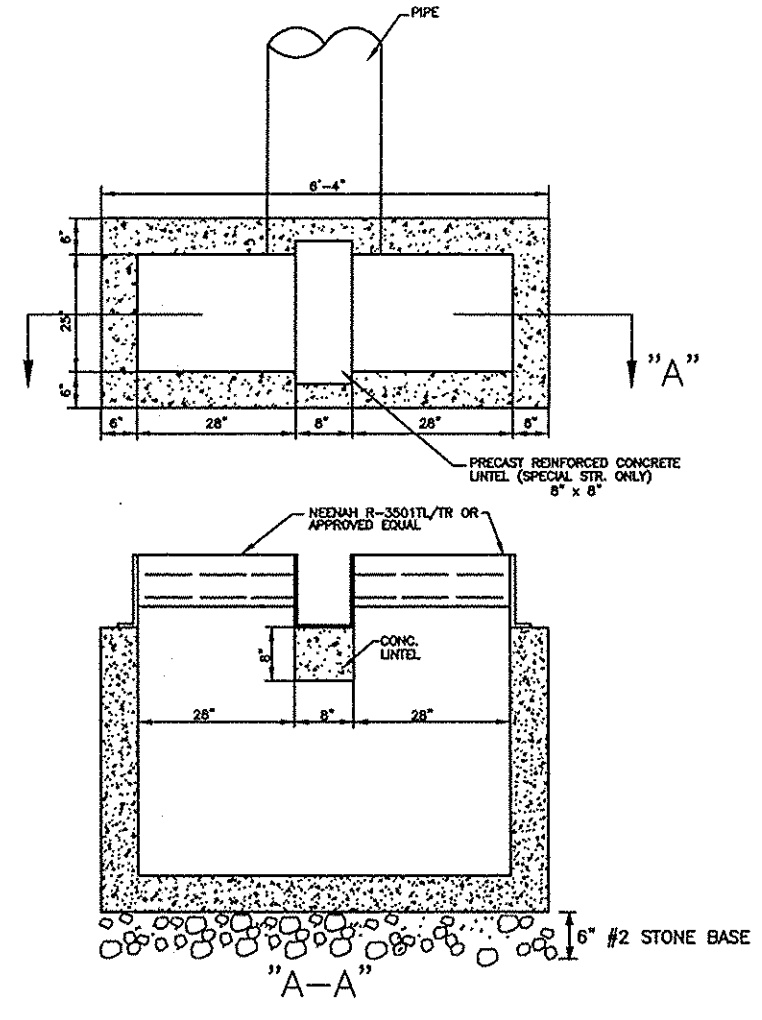
REVISIONS AND ISSUES



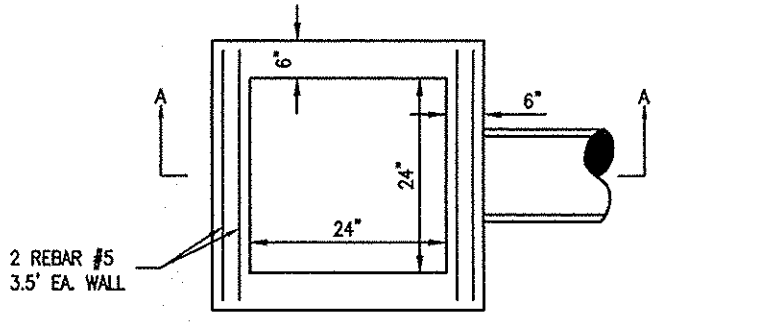
ALVIN E. SKOOG JR., PE 0809073

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
STORM SEWER PLAN & PROFILE
Part of the S&S 1/4 of Section 16, Township 17 North, Range 6 East, Paul Creek Township, Hamilton County, Indiana

SHEET NO.
C606
PROJECT NO.
W13.0129



DOUBLE CURB INLET STRUCTURE DETAIL
(NO SCALE)



NOTES:

- 1 6" CONCRETE PRECAST OR POURED IN PLACE.
- 2 REFER TO BEDDING DETAIL AS REQUIRED
- 3 VAR. PIPE SIZE
- 15" MAX STRAIGHT CONNECTIONS
- 15" MAX SKEW/CORNER CONNECTIONS

OFFICE OF THE HAMILTON COUNTY SURVEYOR

| PIPE SIZE (INCHES) | STRUCTURES LESS THAN 48" FROM 7/8 TO INVERT (INCHES) | MAXIMUM NUMBER OF SIDES OF THE BOX WITH PIPES | MINIMUM ANGLE BETWEEN PIPES (NUMBER OF PIPES - ANGLE IN DEGREES) | STRUCTURES GREATER THAN 48" FROM 7/8 TO INVERT | CURB CASTING PER DETAIL CT-7 OR CT-8 |
|--------------------|--|---|--|--|--------------------------------------|
| 12 TO 15 | 24 X 24 BOX | 3 | 2 - 135 | MANHOLE DETAIL D-20 OR NOTE 2 | YES WITH BOX/MH LID |
| 16 TO 18 | 30 X 30 BOX | 3 | 2 - 135 | MANHOLE DETAIL D-20 OR NOTE 2 | YES WITH BOX/MH LID |
| 18 TO 24 | 24 X 36 ¹ OR 36 X 36 BOX | 3 | 2 - 135 | MANHOLE DETAIL D-20 OR NOTE 2 | YES WITH BOX/MH LID |
| 24 TO 66 | NOT APPLICABLE | NOT APPLICABLE | NOT APPLICABLE | MANHOLE DETAIL D-21 OR NOTE 2 | YES WITH BOX/MH LID |
| 66 TO 144 | NOT APPLICABLE | NOT APPLICABLE | NOT APPLICABLE | MANHOLE DETAIL D-22 OR NOTE 2 | YES WITH BOX/MH LID |

NOTES:

- 1 - UP TO 16" PIPE CAN BE INSTALLED IN 24" SIDE, ALL OTHER PIPES SHALL BE INSTALLED IN LONG SIDE OF BOX.
- 2 - A BOX WITH STEPS WITH WRITTEN SPECIAL DESIGN APPROVAL FROM HCSD.
- 3 - A PIPE INSTALLED IN THE CORNER OF A BOX COUNTS AS USING 2 SIDES OF THE BOX.
- 4 - STRUCTURES SHALL BE DESIGNED FOR MAXIMUM FLOW THROUGH STRUCTURE.

SPECIAL NOTE: ALL STRUCTURES REQUIRE 0.1% OF DROP ACROSS THE STRUCTURE (LOWEST INLET INVERT TO OUTLET INVERT).

SPECIAL NOTE: ALL MANHOLES SHALL HAVE STEPS TO WITHIN A MAXIMUM OF 1 FOOT FROM BOTTOM OF STRUCTURE. INSPECTOR MAY REQUIRE STEPS TO BE INSTALLED OR MOVED AFTER STRUCTURE IS SET, TO IMPROVE ACCESS.

SPECIAL NOTE: IF CURB INLET STRUCTURE IS TO HAVE 2 FOOT SUMP, THEN THE STRUCTURE SHALL BE A MINIMUM OF A 48" MANHOLE OR A 3 FOOT BY 4 FOOT BOX.

SPECIAL NOTE: DOUBLE INLET BOX STRUCTURES SHALL PROVIDE SUPPORT FOR ALL 4 SIDES OF THE CASTING.

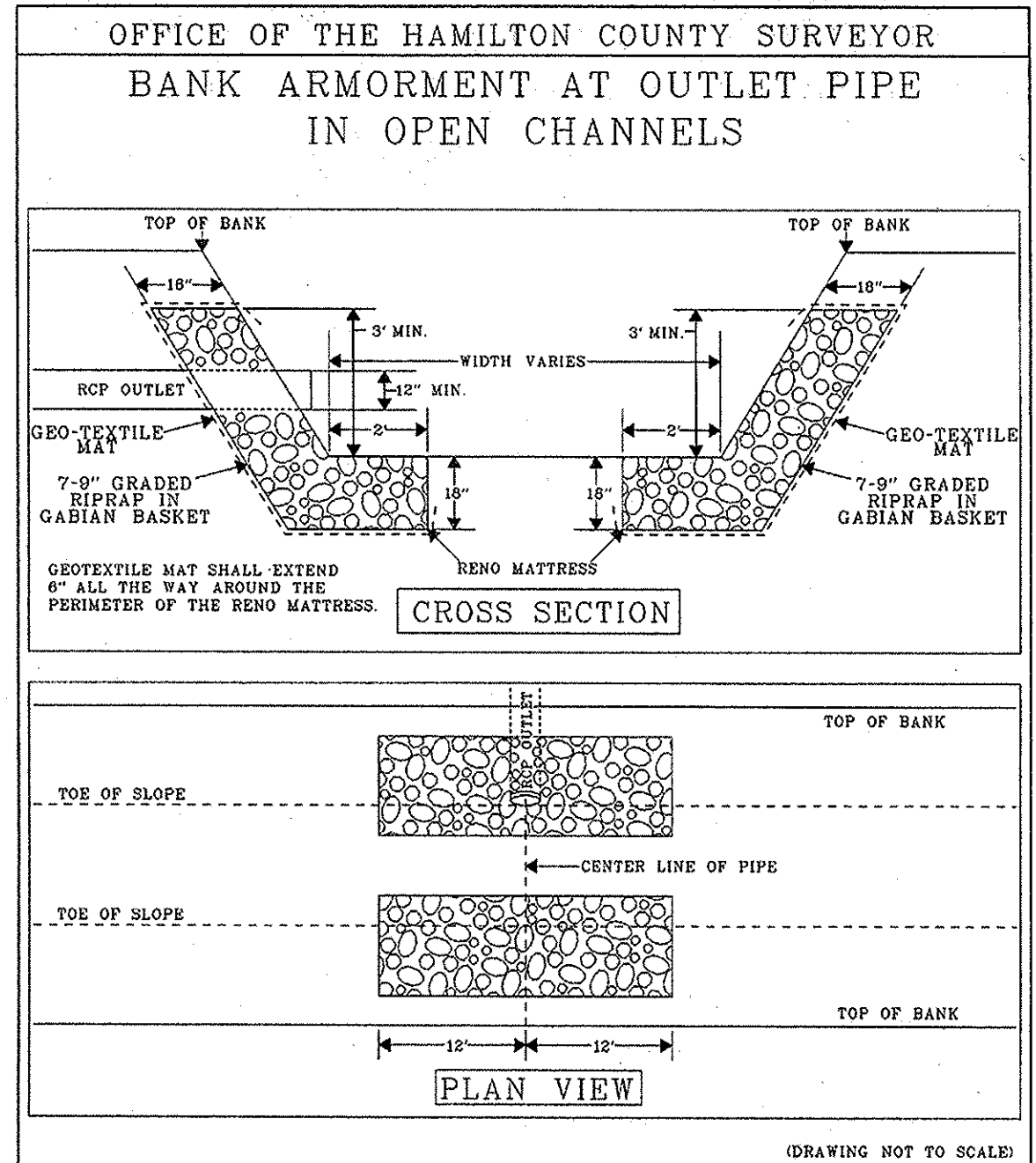
SPECIAL NOTE: ALL CASTINGS SHALL BE PER THE APPROVED CASTING DETAILS OR BY SPECIAL WRITTEN APPROVAL FROM HCSD.

SPECIAL NOTE: NO "DOORHOUSE" STRUCTURES ARE ALLOWED.

HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

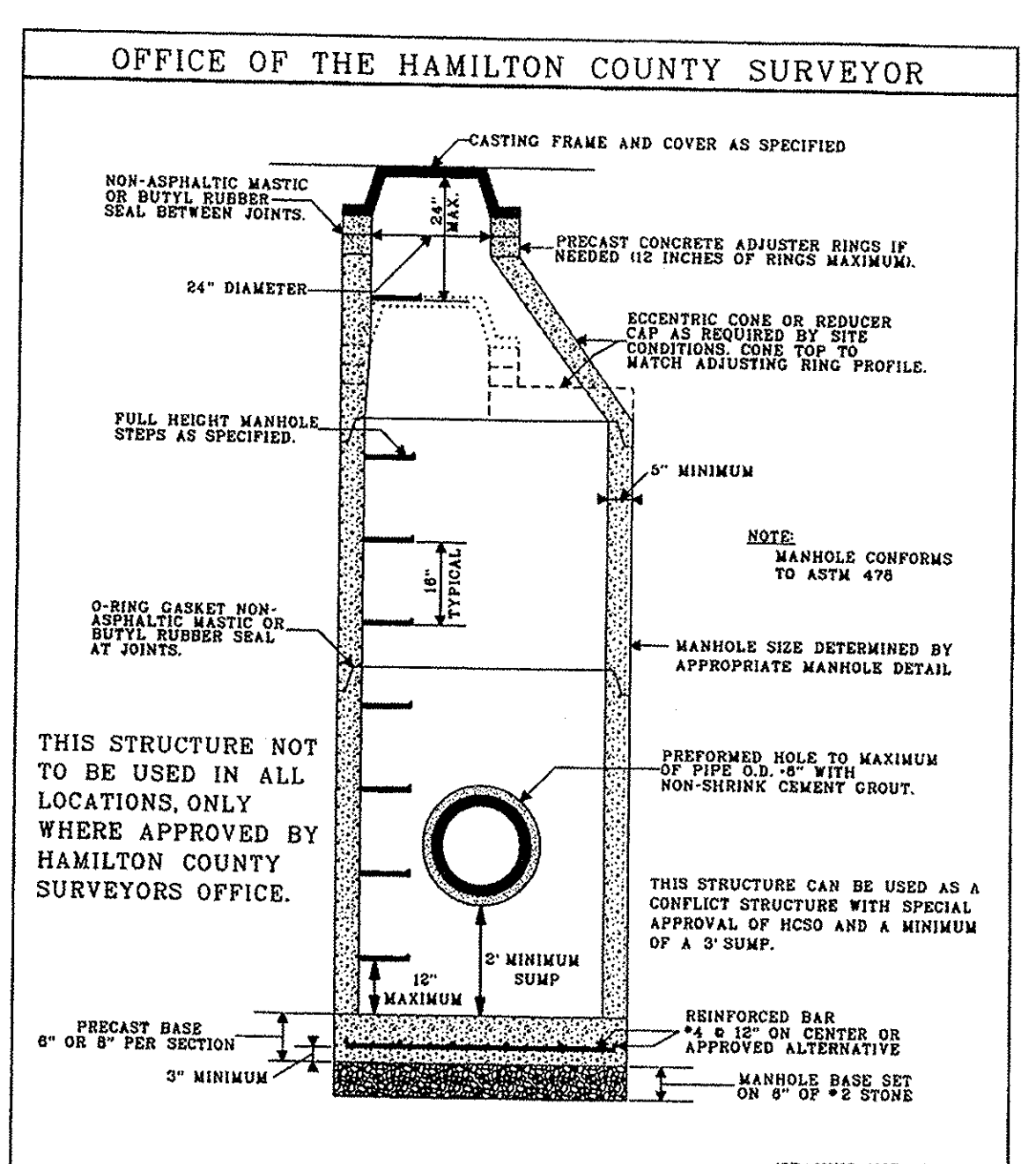
APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-18



HAMILTON COUNTY SURVEYOR'S OFFICE

SUMP MANHOLE STRUCTURE REVISED: 16 DEC 2008

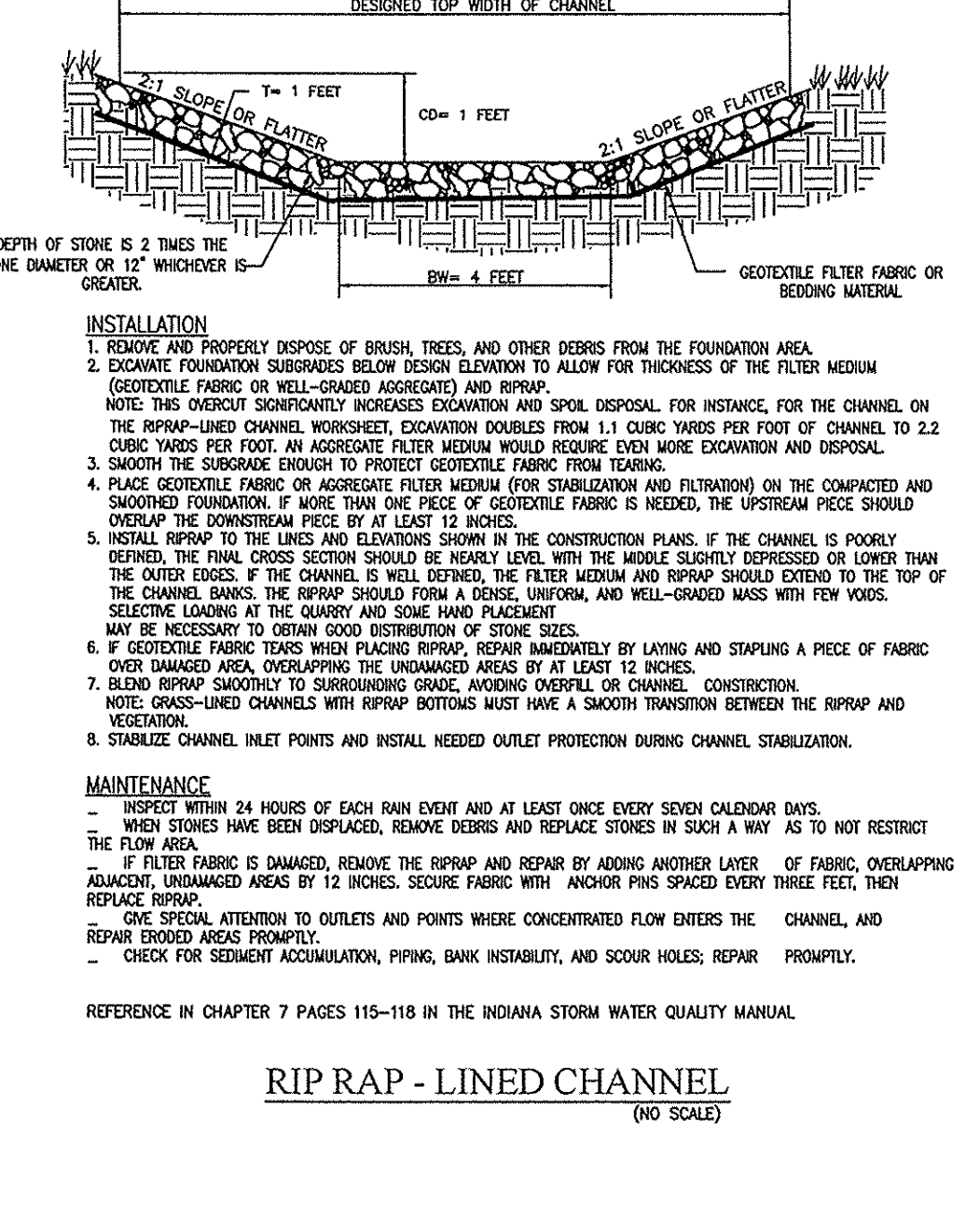
APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-25



HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

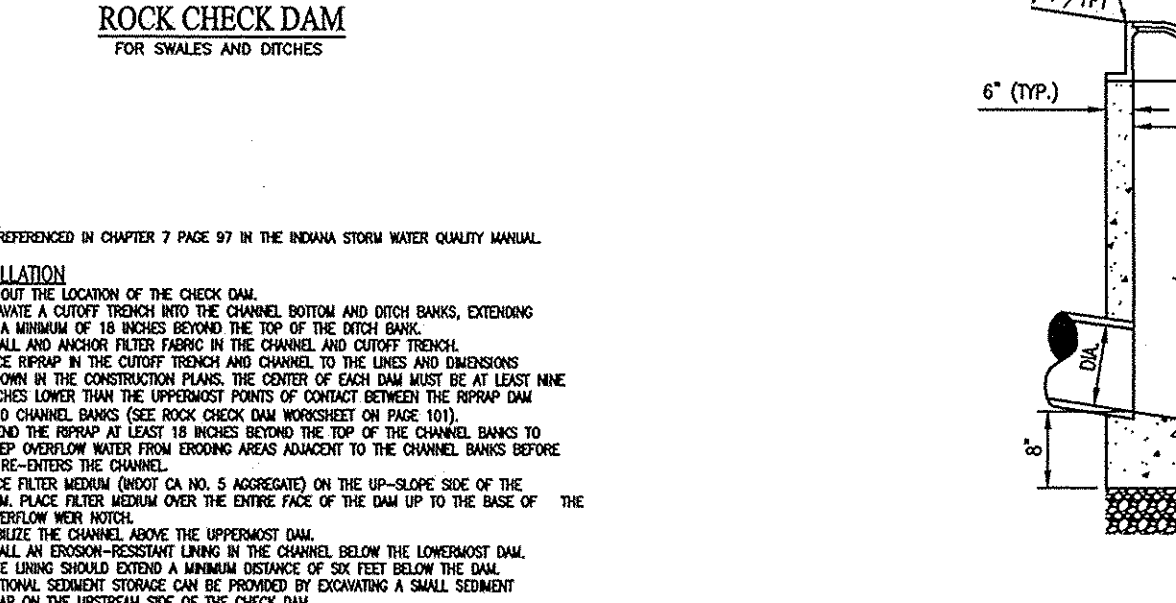
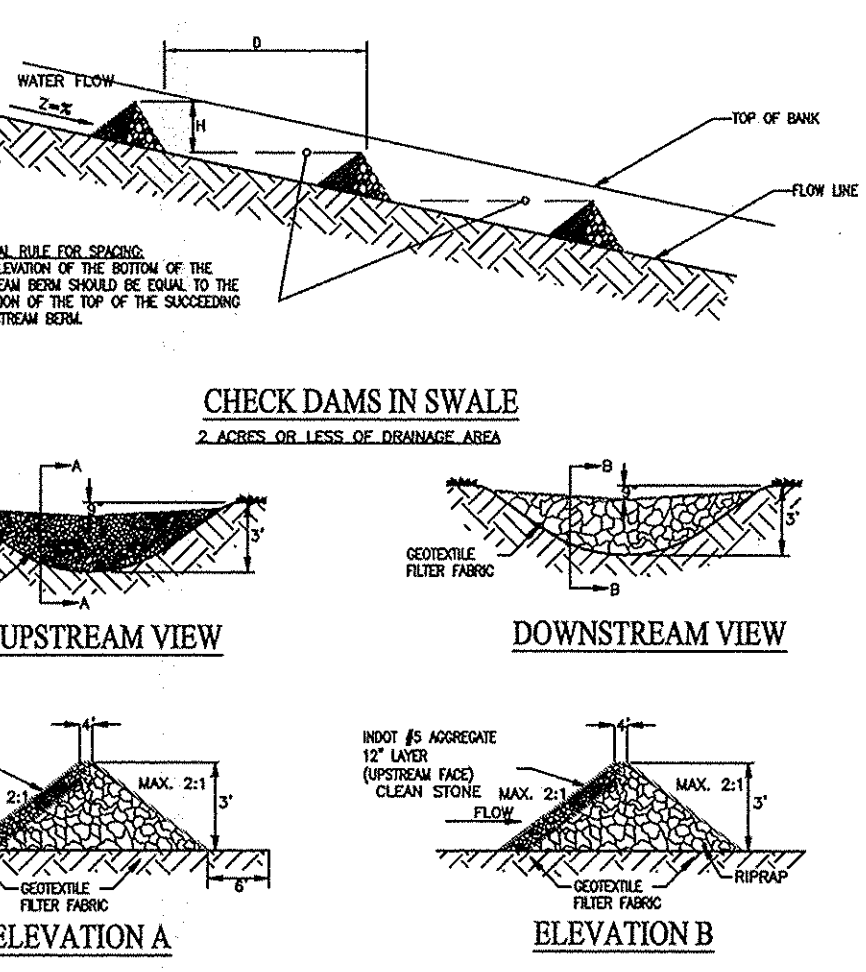
APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-18



HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

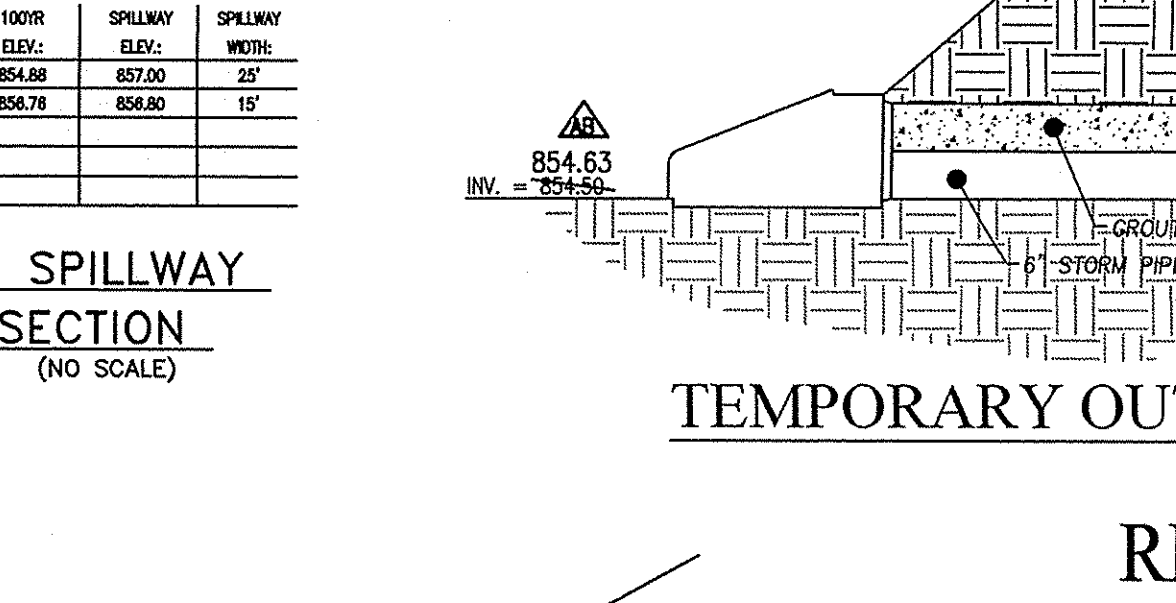
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HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

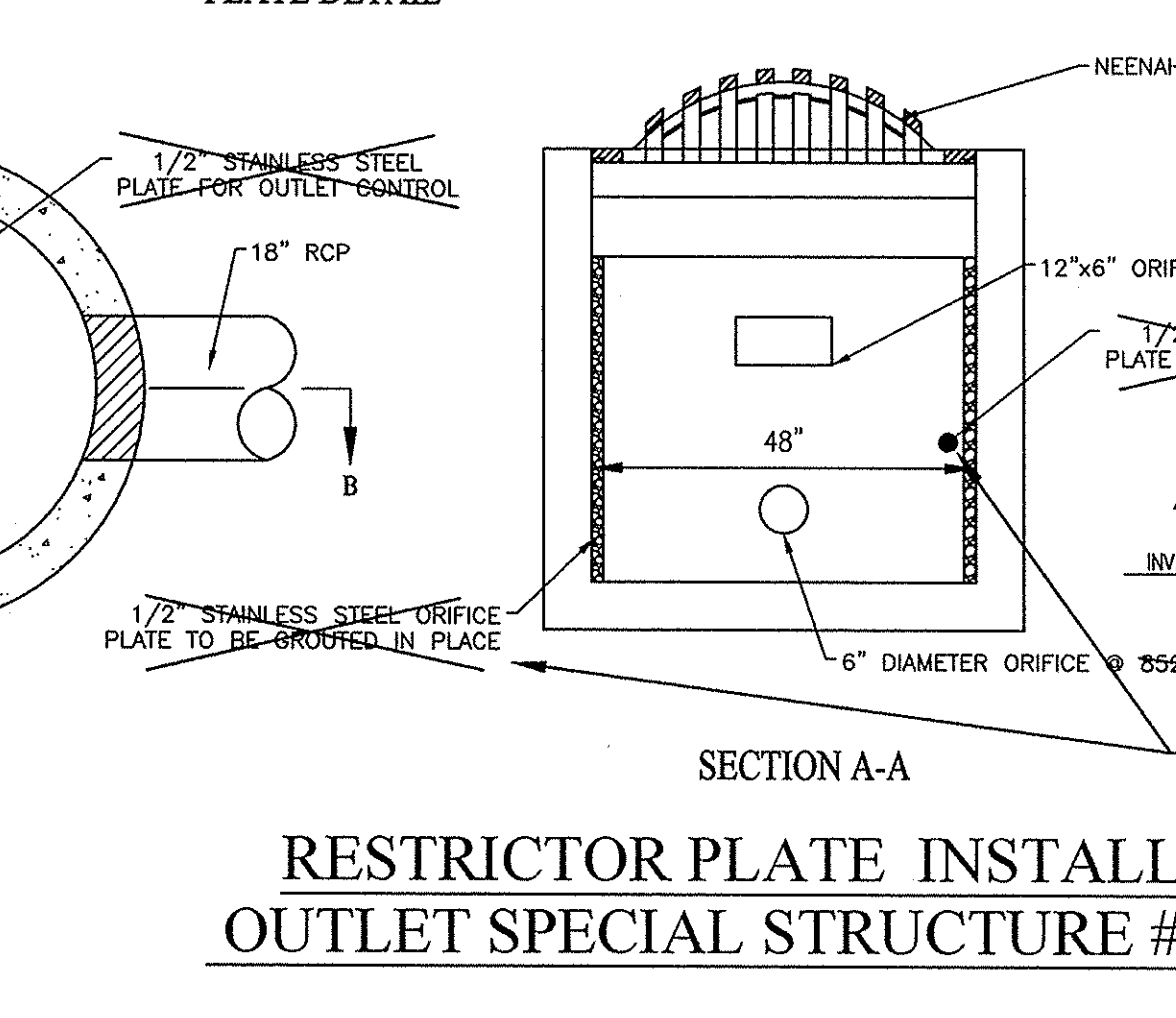
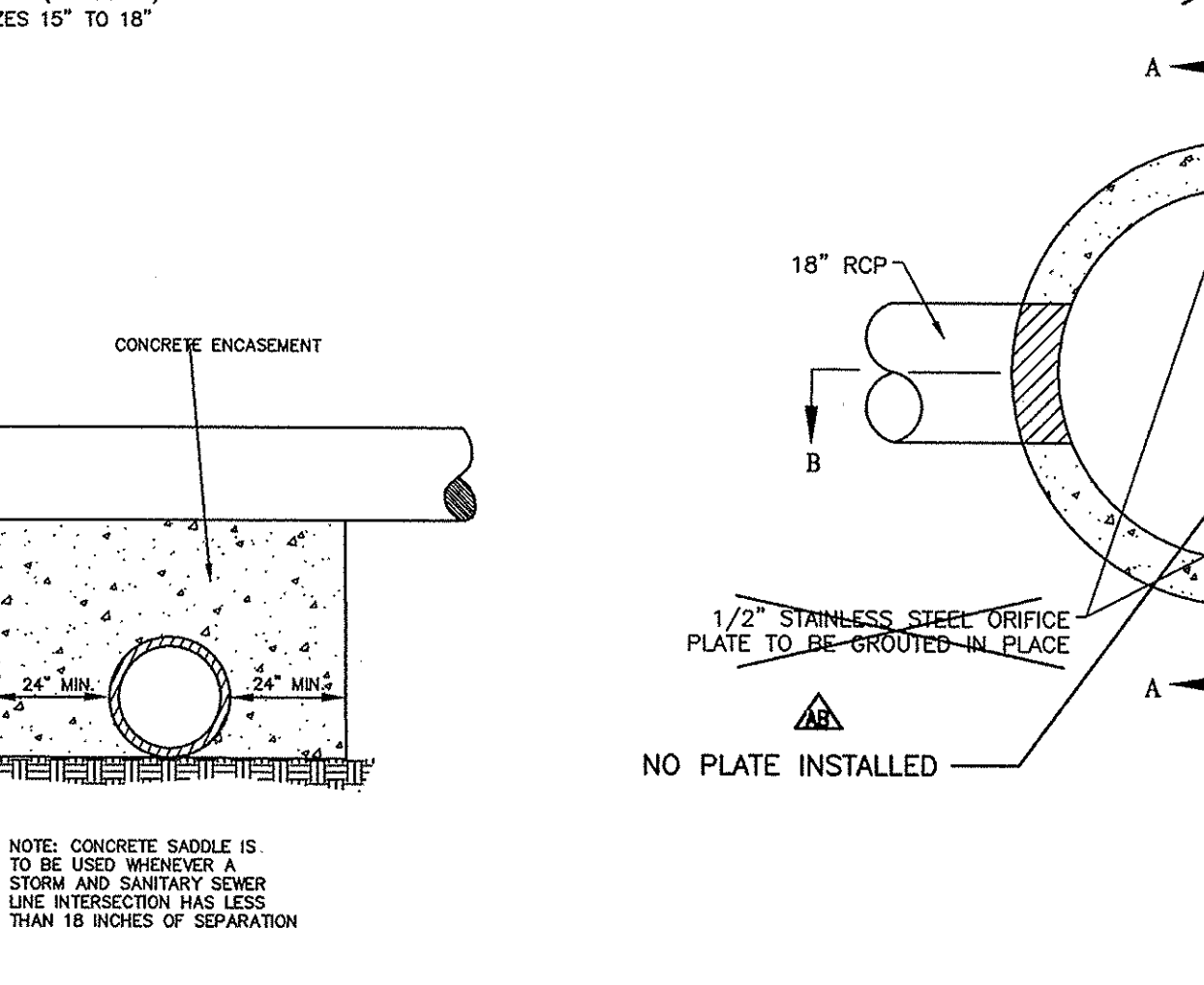
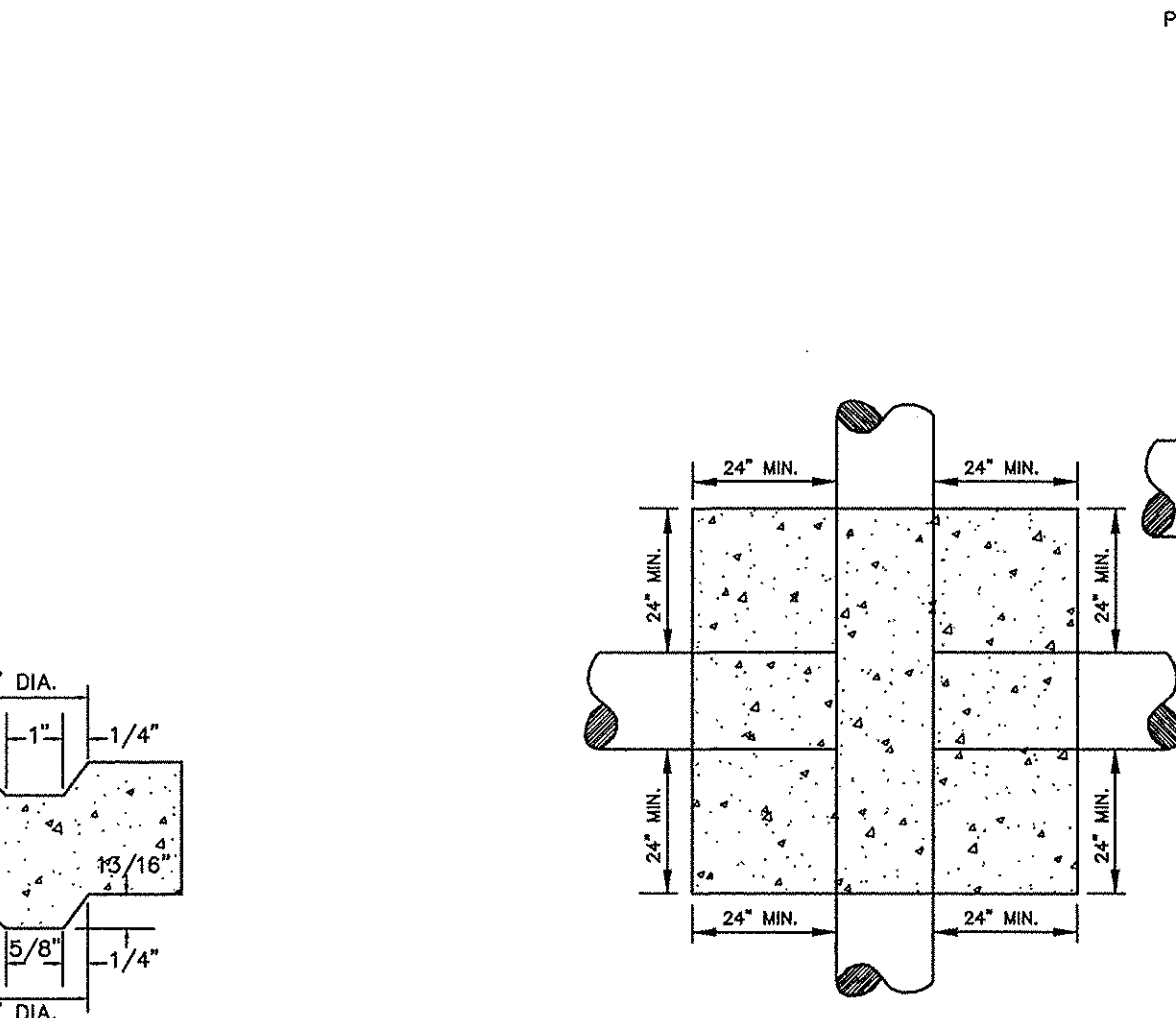
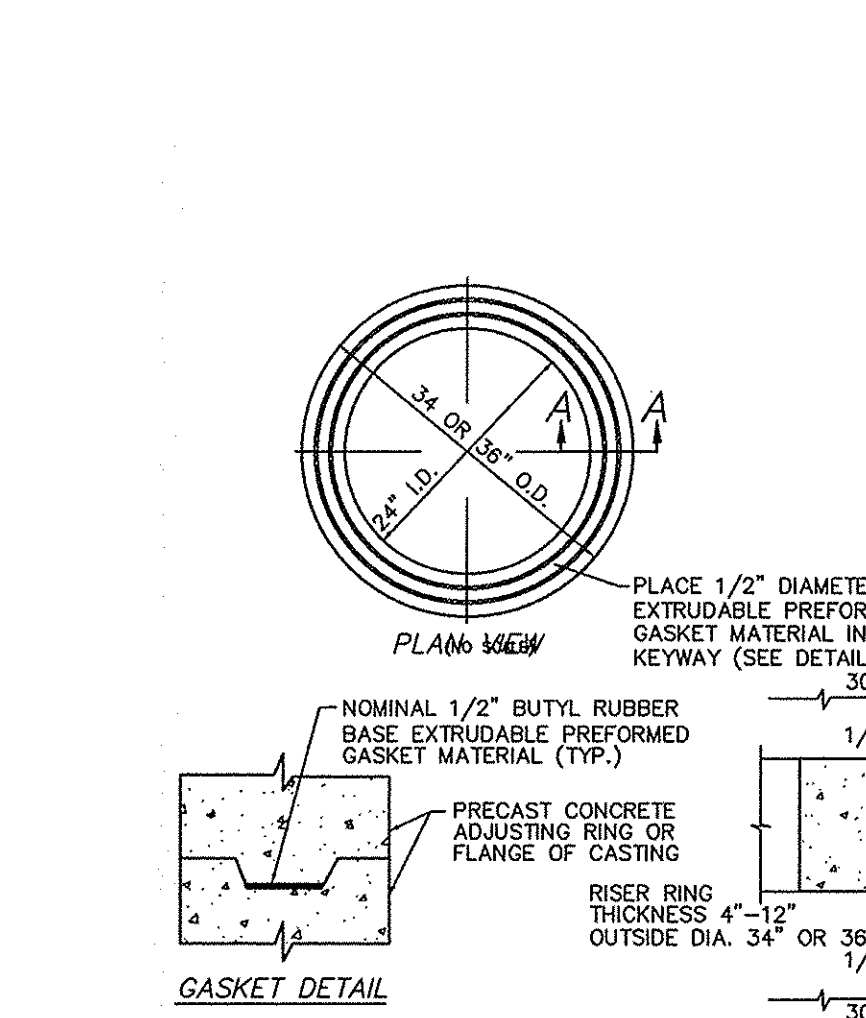
APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-18



HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-18



HAMILTON COUNTY SURVEYOR'S OFFICE

STORM STRUCTURE SIZING TABLE REVISED: 16 DEC 2008

APPROVED: *Kenton C. Ward* DATE: 4 JAN 2009 STANDARD PLAN D-18

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 DATE/TIME: September 16, 2015 - 12:37pm
 PLOTTED BY: fcastor

WEIHE ENGINEERS

Land Surveying | Civil Engineering
Landscape Architecture

10505 N. College Avenue
Indianapolis, Indiana 46280
weihe.net

317 846 - 6611
800 452 - 6408
317 845 - 0546 fax

ALLAN H. WEIHE, P.E., L.S., FOUNDER

PROJECT NO.: W13.0129
 DATE: 09/16/2015
 DRAWN BY: JES
 CHECKED BY: JES
 DATE: 09/12/2014

PROFESSIONAL ENGINEER
 STATE OF INDIANA
 No. PE60900573
 ALVIN E. SKOOG JR., P.E. 880073

THE HERITAGE AT VERMILLION SECTION ONE
 BEAZER HOMES INDIANA, LLP
 STORM SEWER DETAILS
 Part of the 37.88 1/4 of Section 16, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

C609

PROJECT NO. W13.0129

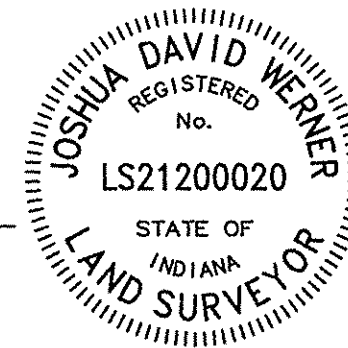
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| 116 | CONCRETE END SECTION | N/A | N/A | INV IN = 848.00(SE) |
| 117 | MANHOLE | 856.00 | NEENAH R-4342 | INV IN = 848.58(S) INV OUT = 848.48(NW) |
| 118 | MANHOLE | 857.20 | NEENAH R-1642 | INV IN = 849.08(S) 849.68 INV OUT = 849.09(N) |
| 119 | MANHOLE | 855.80 855.67 | NEENAH R-4342 | INV IN = 856.60(S) 850.31 INV OUT = 856.60(N) 850.29 |
| 120 | OUTLET SPECIAL STRUCTURE, SEE C609 | 856.00 855.79 | NEENAH R-4215-C | INV IN = 851.59(SW) 851.32 INV OUT = 851.49(N) 851.26 |
| 465 | CONCRETE END SECTION | N/A | N/A | INV IN = 852.00(S) 851.80 |
| 466 | MANHOLE | 857.00 857.42 | NEENAH R-4342 | INV IN = 852.70(S) 853.29 INV IN = 852.70(SW) 852.38 INV OUT = 852.60(N) 852.00 |
| 467 | MANHOLE | 859.20 859.14 | NEENAH R-3501-TL | INV IN = 853.15(SW) 852.75 INV OUT = 853.05(NE) 852.65 |
| 468 | MANHOLE | 859.20 859.13 | NEENAH R-3501-TR | INV IN = 853.31(SW) 853.17 INV OUT = 853.21(NE) 853.17 |
| 469 | MANHOLE | 858.70 858.74 | NEENAH R-4342 | INV IN = 853.70(S) 853.54 INV IN = 853.70(NW) 853.44 INV IN = 853.70(W) 853.44 INV OUT = 853.60(NE) 853.44 |
| 470 | MANHOLE | 859.60 859.68 | NEENAH R-4342 | INV IN = 855.96(S) 853.86 INV OUT = 853.86(N) 853.76 |
| 471 | MANHOLE | 859.10 859.29 | NEENAH R-4342 | INV IN = 854.65(S) 854.38 INV IN = 854.65(E) 854.29 INV OUT = 854.45(N) 854.29 |
| 472 | MANHOLE | 860.70 860.76 | NEENAH R-4342 | INV IN = 855.60(S) 855.46 INV IN = 855.60(W) 855.45 INV OUT = 854.90(N) 854.76 |
| 473 | INLET TYPE 1 | 862.19 862.18 | NEENAH R-3501-TL | INV IN = 857.68(SW) 857.38 INV OUT = 857.68(E) 857.19 |
| 474 | INLET TYPE 1 | 862.19 862.11 | NEENAH R-3501-TR | INV OUT = 857.80(NE) 857.71 |
| 475 | INLET TYPE J | 861.08 861.02 | NEENAH R-3501-TL | INV IN = 856.68(S) 856.22 INV OUT = 856.48(N) 856.00 |
| 476 | INLET TYPE J | 861.08 861.06 | NEENAH R-3501-TR | INV OUT = 856.70(N) 856.75 |
| 477 | MANHOLE | 860.31 860.30 | NEENAH R-3501-TR | INV IN = 855.36(E) 855.11 INV OUT = 855.26(W) 855.08 |
| 478 | MANHOLE | 860.31 860.23 | NEENAH R-3501-TL | INV OUT = 855.51(W) 855.32 |
| 479 | MANHOLE | 859.60 858.76 | NEENAH R-4342 | INV OUT = 855.05(SE) 854.96 |

| STORM SEWER PIPE DATA TABLE | | | | | | |
|-----------------------------|--------------------|------|----------|-----------------|----------------|-------|
| DOWNSREAM STRUCTURE | UPSTREAM STRUCTURE | SIZE | MATERIAL | LENGTH Δ | SLOPE Δ | |
| 116 | 117 | 18" | RCP | 169' | 0.28% | |
| 117 | 118 | 18" | RCP | 210' | 0.24% | |
| 118 | 119 | 18" | RCP | 304' 307' | 0.20% | ✓ |
| 119 | 120 | 18" | RCP | 300' 399' | 0.26% | 0.24% |
| 120 | 560 | 18" | RCP | 93' 95' | 0.29% | 0.57% |
| 465 | 466 | 30" | RCP | 274' 280' | 0.22% | 0.07% |
| 466 | 480 | 12" | RCP | 286' 202' | 0.58% | 0.72% |
| 466 | 467 | 30" | RCP | 201' | 0.17% | 0.13% |
| 467 | 468 | 30" | RCP | 30' | 0.26% | 1.40% |
| 468 | 469 | 27" | RCP | 143' 141' | 0.20% | 0.19% |
| 469 | | 15" | RCP | 10' | 0.30% | |
| 469 | 479 | 12" | RCP | 270' 269' | 0.50% | 0.57% |
| 469 | 470 | 24" | RCP | 94' 88' | 0.18% | 0.25% |
| 470 | 470A | 24" | RCP | 225' 226' | 0.16% | ✓ |
| 471 | 477 | 15" | RCP | 141' | 0.50% | 0.56% |
| 471 | 472 | 18" | RCP | 156' | 0.22% | 1.53% |
| 472 | 473 | 12" | RCP | 124' 122' | 1.72% | 1.43% |
| 472 | 475 | 12" | RCP | 37' 36' | 2.66% | 1.50% |
| 473 | 474 | 12" | RCP | 26' | 0.46% | 1.27% |
| 475 | 476 | 12" | RCP | 26' | 0.46% | 2.04% |

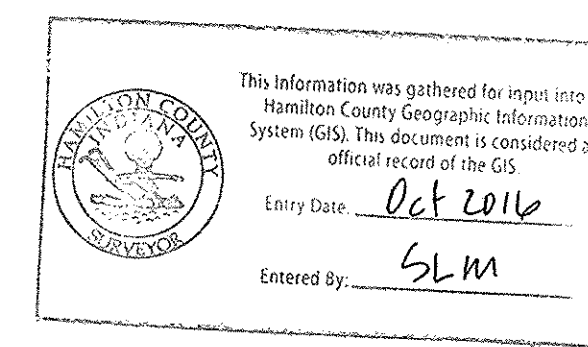
| STORM SEWER PIPE DATA TABLE | | | | | | |
|-----------------------------|--------------------|------|----------|-----------------|----------------|-------|
| DOWNSREAM STRUCTURE | UPSTREAM STRUCTURE | SIZE | MATERIAL | LENGTH Δ | SLOPE Δ | |
| 477 | 478 | 12" | RCP | 30' | 0.56% | 0.70% |
| 480 | 481 | 12" | RCP | 154' 152' | 0.83% | 0.85% |
| 481 | 482 | 12" | RCP | 30' | 0.50% | 0.67% |
| 483 | 484 | 12" | RCP | 97' 93' | 0.54% | 0.56% |
| 485 | 486 | 12" | RCP | 98' 105' | 0.56% | 0.62% |
| 487 | 489 | 21" | RCP | 83' 60' | 0.56% | 0.72% |
| 489 | 490 | 21" | RCP | 56' 55' | 0.34% | 0.33% |
| 490 | 490A | 21" | RCP | 34' 30' | 0.35% | 0.27% |
| 491 | 492 | 12" | RCP | 164' 164' | 1.68% | 0.57% |
| 493 | 494 | 18" | RCP | 83' 88' | 0.30% | 0.28% |
| 494 | 495 | 18" | RCP | 181' | 0.38% | 0.29% |
| 495 | 497 | 15" | RCP | 114' 116' | 0.29% | 0.35% |
| 497 | 498 | 15" | RCP | 44' | 0.27% | 0.23% |
| 498 | 499 | 12" | RCP | 26' 25' | 0.34% | 0.84% |
| 500 | 501 | 36" | RCP | 173' 174' | 0.20% | 0.05% |
| 501 | 502 | 36" | RCP | 192' | 0.20% | 0.33% |
| 502 | 503 | 27" | RCP | 56' | 0.26% | 0.43% |
| 502 | | 27" | RCP | 10' | 0.30% | |
| 503 | 504 | 27" | RCP | 131' | 0.26% | 0.17% |
| 504 | 505 | 27" | RCP | 36' 29' | 0.26% | 0.41% |

| STORM SEWER PIPE DATA TABLE | | | | | | |
|-----------------------------|--------------------|------|----------|-----------------|----------------|-------|
| DOWNSREAM STRUCTURE | UPSTREAM STRUCTURE | SIZE | MATERIAL | LENGTH Δ | SLOPE Δ | |
| 505 | 506 | 24" | RCP | 32' 38' | 0.26% | 0.32% |
| 506 | 507 | 24" | RCP | 141' 109' | 0.20% | 0.34% |
| 507 | | 21" | RCP | 10' | 0.30% | |
| 508 | 509 | 15" | RCP | 166' 169' | 0.48% | 0.23% |
| 558B | 558 | 12" | RCP | 32' 41' | 0.62% | 0.88% |

RECORD DRAWING
 STORM SEWER AS-BUILTS
 STORM SEWER STRUCTURES ONLY
 09/18/2015
 JOSHUA DAVID WERNER, LS21200020



Δ - ASBUILT INFORMATION
 ✓ - BUILT AS PLANNED



PREPARED FOR:

THE HERITAGE AT VERMILION SECTION ONE
 BEAZER HOMES INDIANA, LLP
 STORM SEWER DATA TABLES

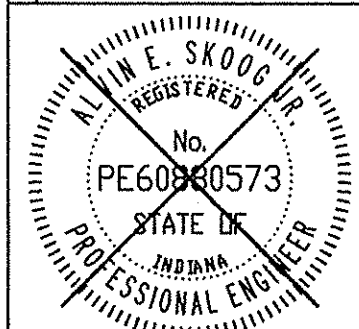
SHEET NO.

C610

PROJECT NO.

W13.0129

PERSONS AND ISSUES



ALVIN E. SKOOG JR., PE 880973

10505 N. College Avenue
 Indianapolis, Indiana 46280
 weihe.net
 317 | 846 - 6611
 800 | 452 - 6408
 317 | 843 - 0546 fax
 ALLAN H. WEIHE, P.E., L.S. - FOUNDER

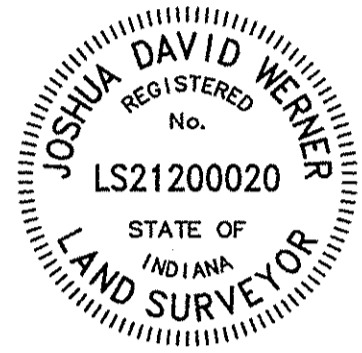


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RECORD DRAWING

WATER AS-BUILTS
WATER STRUCTURES ONLY
09/18/2015

JOSHUA DAVID WERNER, LS21200020



- ASBUILT INFORMATION
- ASBUILT TEE
- ASBUILT FIRE HYDRANT
- ASBUILT WATER VALVE
- ASBUILT BLOW OFF

NOTE: NO METER PITS WERE INSTALLED

LEGEND

- Existing Water Main
- Proposed Water Main
- Existing Hydrant with Hydrant Valve
- Hydrant with Hydrant Valve
- Valve
- Tee
- Cross
- Reducer
- Gas Lines
- Telephone Lines
- Electric Lines
- Ductile Iron Pipe
- 1" Type K Copper or Poly w/ double meter pit
- 3/4" Type K Copper or Poly w/ single meter pit
- Water Lateral As-Built Location

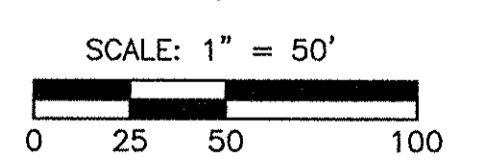
WATER MAIN NOTES:

1. ALL FIRE HYDRANTS SHALL BE PAINTED PER FORTVILLE SPECIFICATIONS AND STANDARDS.
2. FIRE HYDRANTS SHALL HAVE 5 INCH STORZ'S CONNECTION (APPROVED BY FISHERS FIRE).
3. IF WATERMAIN IS 12 INCHES OR SMALLER, THEN C900 PIPE CAN BE USED.
4. MAIN SHALL BE BEDDED WITH SAND 6 INCHES UNDER AND 12 INCHES OVER THE PIPE AND FILLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
5. NUMBER TEN (#10) GAUGE LOCATING WIRE SHALL BE TAPED TO THE TOP OF THE MAIN AND PULLED THROUGH ALL VALVE BOXES (TO THE SURFACE) FOR LOCATING PURPOSES.
6. IF DUCTILE PIPE IS USED, THE MAIN MUST BE POLY WRAPPED.
7. CONTRACTOR MUST PROVIDE REDLINE "AS-BUILT" MARK-UPS TO ENGINEER OR ALL BENDS AND TEES MUST BE LOCATED WITH 2X4 BOARD PAINTED BLUE.
8. ALL PROPOSED ROAD CROSSINGS MUST BE FULLY BACKFILLED WITH A GRANULAR BACKFILL MATERIAL.
9. ALL TEMPORARY FIRE HYDRANTS TO BE INSTALLED WITH VALVES.
10. ALL VALVES MUST HAVE POSI-CAP INSTALLED AND HAVE STAINLESS STEEL STEMS.
11. WATER MAIN MUST MEET CURRENT FORTVILLE WATER DETAILS AND SPECIFICATIONS.
12. ALL WATER TO BE RESTRAINED PER FORTVILLE WATER STANDARDS.
13. WATER SERVICE LATERALS AND WATER METER PITS ARE SHOWN FOR LOCATION ONLY. WATER SERVICE LATERALS AND WATER METER PITS WILL BE INSTALLED BY THE HOME BUILDERS IN THE FUTURE.
14. NO WATER VALVES ARE TO BE PLACED WITHIN THE LIMITS OF THE STREET.
15. CONTRACTOR TO SUPPLY SHOP DRAWINGS TO THE TOWN OF FORTVILLE PRIOR TO CONSTRUCTION.

NOTES:

1. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 8'-0" OF SEPARATION BETWEEN THE MAIN AND SEWER STRUCTURES AND A MINIMUM OF 10'-0" OF SEPARATION BETWEEN WATER, SANITARY AND STORM PIPES.
2. WATER MAIN MUST MEET CURRENT FISHERS DETAILS AND SPECIFICATIONS.
3. WATER TAP FEES WILL BE PAID AT THE TIME OF ACQUIRING THE BUILDING PERMIT.
4. CONTRACTOR TO WET TAP EXISTING WATER MAIN FOR NEW SERVICE LATERALS WHERE APPLICABLE.
5. NO WATER VALVES SHALL BE LOCATED WITHIN THE LIMITS OF THE STREET.

POND 9
2 YR. = 852.88
10 YR. = 853.59
100 YR. = 854.88
COMMON OB = 858.00
AREA ANP = 852.00
BOTTOM = 844.00



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Entered By: SLM

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ALLAN H. WEIHE, P.E., I.S. - FOUNDER

WEIHE ENGINEERS
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Landscape Architecture

| | |
|--------------|---------------------|
| PROJECT NO.: | W13.0129 |
| DWG NAME: | AS-BUILT WATER MAIN |
| DESIGNED BY: | |
| DRAWN BY: | |
| CHECKED BY: | |
| DATE: | 06.12.2014 |



ALVIN E. SKOOG JR., PE 60960573

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
WATER MAIN PLAN
Part of the 57.88 1/4 of Section 15, Township 17 North, Range 6 East, Full Creek Township, Hamilton County, Indiana

SHEET NO.
C700
PROJECT NO.
W13.0129

LOCATION: H:\2013\W130129\Section E1\Engineering\Maping\Subarea\AS-Built\Water\Plan.dwg
DATE/TIME: September 18, 2015 11:23:30am
PLOT/DWG BY: fstrub

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SEE SHEET C700

RECORD DRAWING

WATER AS-BUILTS
WATER STRUCTURES ONLY
09/18/2015

JOSHUA DAVID WERNER, LS21200020



NOTE: NO METER PITS WERE INSTALLED

LEGEND

- EW Existing Water Main
- PWM Proposed Water Main
- EH Existing Hydrant with Hydrant Valve
- HV Hydrant with Hydrant Valve
- V Valve
- T Tee
- C Cross
- R Reducer
- GL Gas Lines
- UT Telephone Lines
- UE Electric Lines
- D.I.P. Ductile Iron Pipe
- 1" Type K Copper or Poly w/ double meter pit
- 3/4" Type K Copper or Poly w/ single meter pit
- Water Lateral As-Built Location

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Entered by: SWM

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0 25 50 100



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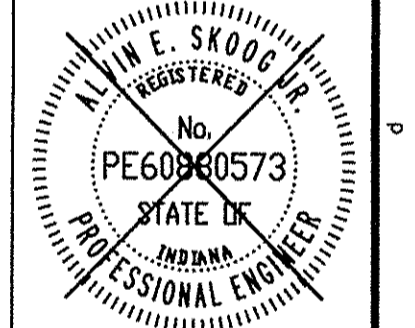
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| PROJECT NO.: | W13.0129 |
| DATE: | 09/18/2015 |
| BY: | |
| DATE: | 09/18/2015 |
| BY: | |
| DATE: | 09/18/2015 |
| BY: | |

REVISIONS AND ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 1 | 09/18/2015 | ISSUED FOR PERMIT |



ALVIN E. SKOOG JR., PE 880973

PREPARED FOR:
THE HERITAGE AT VERMILLION SECTION ONE
BEAZER HOMES INDIANA, LLP
WATER MAIN PLAN
Part of the 0828 1/4 of Section 16, Township 17 North, Range 8 East, Paul Deak Township, Hamilton County, Indiana.

SHEET NO.
C701
PROJECT NO.
W13.0129

RECORD DRAWING OFF-SITE GRADING PLANS 12/06/2014

LOCATION: W13.0129 Section 16, Township 17 North, Range 8 East, Paul Deak Township, Hamilton County, Indiana.
 DATE: 12/06/2014
 DRAWN BY: SWM
 CHECKED BY: SWM
 PLOTTED BY: WEIHE